

AGENDA



ARCHITECTURAL REVIEW BOARD MEETING

CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS

SEPTEMBER 27, 2022 IN THE CITY COUNCIL CONFERENCE ROOM AT 5:00 PM

NOTES ABOUT PUBLIC PARTICIPATION = **RED**

(I) CALL TO ORDER

(II) OPEN FORUM

This is a time for anyone to address the Architectural Review Board (ARB) on any topic. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Architectural Review Board (ARB) is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(III) ACTION ITEMS

(1) **SP2022-049 (BETHANY ROSS)**

Discuss and consider a request by Mike Ruibal of Ruibal's Garden Center for the approval of a Site Plan for a *Garden Supply/Plant Nursery* on a 2.98-acre tract of land identified as Lots 12 & 12-1 of the Rainbow Acres Subdivision, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 207 Ranch Trail, and take any action necessary.

(2) **SP2022-050 (HENRY LEE)**

Discuss and consider a request by Jeff Carroll of Jeff Carroll Architects on behalf of Brad Bacon of Bacon Property, LLC for the approval of an Amended Site Plan for an existing *Office/Warehouse* facility on a 0.50-acre parcel of land identified as Lot 1, Block A, Bacon Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 2055 Kristy Lane, and take any action necessary.

(3) **SP2022-051 (HENRY LEE)**

Discuss and consider a request by Terry Lee of A-1 Services on behalf of Don Rakow and Don Srygley of S & A Systems, Inc. for the approval of an Amended Site Plan for an existing *Office/Manufacturing* facility on a two (2) acre parcel of land identified as Lot 1, Block 1, Pott Shrigley Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 43 (PD-43) for Commercial (C) District land uses, addressed as 922 Sids Road, and take any action necessary.

(4) **SP2022-052 (BETHANY ROSS)**

Discuss and consider a request by Jeff Carroll of Jeff Carroll Architects on behalf of Susan Gamez of Everybody Massage for the approval of an Amended Site Plan for an existing *Massage Therapist* facility on a 0.48-acre tract of land identified as Lot 1, Block A, Everybody Massage Addition, City of Rockwall, Rockwall County, Texas, zoned Residential Office (RO) District, addressed as 2001 Ridge Road, and take any action necessary.

(IV) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Government Code §551.071 (Consultation with City Attorney).

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Angelica Gamez, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on September 23, 2022 prior to 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 9/22/2022

PROJECT NUMBER: SP2022-049
PROJECT NAME: Site Plan for Ruibal's
SITE ADDRESS/LOCATIONS: 207 RANCH TRL

CASE MANAGER: Bethany Ross
CASE MANAGER PHONE: (972) 772-6488
CASE MANAGER EMAIL: bross@rockwall.com

CASE CAPTION: Discuss and consider a request by Mike Ruibal of Ruibal's Garden Center for the approval of a Site Plan for a Garden Supply/Plant Nursery on a 2.98-acre tract of land identified as Lots 12 & 12-1 of the Rainbow Acres Subdivision, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 207 Ranch Trail, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	09/22/2022	Approved w/ Comments

09/22/2022: SP2022-049; Site Plan for Garden Supply/Plant Nursery

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Mike Ruibal of Ruibal's Garden Center for the approval of a Site Plan for a Garden Supply/Plant Nursery on a 2.98-acre tract of land identified as Lots 12 & 12-1 of the Rainbow Acres Subdivision, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 207 Ranch Trail.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com. October 4, 2022 is the deadline to have all comments; please provide staff revised plans before October 4, 2022 to ensure all comments are addressed.

I.3 The subject property will be required to be replatted after the engineering process to establish the new easements.

M.4 For reference, include the case number (SP2022-049) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02. D, Article 11, UDC)

M.5 Provide a numeric and graphic scale for reference on every page of each plan. (Subsection 03.04.A, of Article 11)

M.6 Provide all specifications and descriptions of each proposed building materials and please provide a physical material sample board that meets the City's submittal requirements before the September 27, 2022 Architecture Review Board meeting. (Subsection 04.01 of Article 5)

M.7 Site Plan

- (1) Indicate the distance between all property lines and existing and planned buildings located on the site. (Subsection 03.04.B, of Article 11)
- (2) Indicate all building setbacks adjacent to the Right-of-Way. (Subsection 03.04. B, of Article 11)
- (3) Indicate all utilities both existing and proposed. (Subsection 03.04.B, of Article 11)
- (4) Indicate all drive/turning radii. (Subsection 03.04.B, Article 11)
- (5) Indicate all drive widths. (Subsection 03.04.B, of Article 11)
- (6) Indicate all sidewalks. A 5-foot sidewalk is required along Ranch Trail Drive. (Subsection 03.04.B, of Article 11)
- (7) Indicate the right-of-way for Ranch Trail Drive (60-foot), (Subsection 03.04.B, of Article 11)

- (8) Indicate the length of the proposed parking spaces. Spaces shall be 9' X 20". (Subsection 05.03, of Article 06)
- (9) Indicate the type and depth of the paving material and provide a detail or cutsheet. (Subsection 03.02, of Article 06)
- (10) Indicate the location and type of all proposed and/or existing signage on the site plan. (Subsection 06.02.F, of Article 05)
- (11) If a fence is proposed, please indicate the height and type of fence proposed. (Subsection 008.02F, of Article 08)
- (12) Are there any roof mounted or pad mounted utility equipment? If so, indicate them on the site plan and building elevations and show any subsequent required screening (e.g. screening with taller parapets or adding louver screening). (Subsection 01.05. C, of Article 05)
- (13) Trash/Recycling enclosures shall be four (4) sided. These receptacles shall be screened by a minimum six (6) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. Dumpster storage should be located to the rear of the buildings with proper access. Trash dumpster shall not be located in any required parking space and shall allow proper access by service trucks. The minimum enclosure area shall be 12'x10'. A minimum of 6" bollards will be required at potential impact zones and the pad site shall be paved to city standards. The current location of the dumpster will not allow for proper access of the service trucks. Please revise.
- (14) Is there going to be outside storage? If so, please indicate the area for outside storage and the required screening for the outside storage areas.

M.8 Landscape Plan:

- (1) Landscape Plan layout of site does not match site plan layout. Please revise.
- (2) Provide the same site data information as required on the site plan.
- (3) Indicate the applicable zoning district percentage of landscaping required and provided, and the impervious area vs. the amount of landscaping and open spaces required and provided. (Subsection 01.01.B, of Article 05)
- (4) Provide a landscape table showing plant materials, quantities, size and spacing for existing and proposed landscaping. Complete description of plant materials shown on the plan, including names, locations, qualities, container or caliper sizes at installation, heights, spread, and spacing requirements should also be listed on the plan. (Subsection 05.03.B, of Article 08)
- (5) Please indicate detention areas. Detention areas shall incorporate a minimum of one (1) Canopy Tree per 750 SF and one (1) Accent Tree per 1,500 SF of detention area. (Subsection 05.03.D, of Article 08)
- (6) A minimum of a ten (10) foot wide landscape buffer shall be required along the entire length of any non-residential lot that abuts a public right-of-way. All landscape buffers adjacent to a public right-of-way shall incorporate ground cover, a built-up berm and shrubbery along the entire length of the frontage. Berms and shrubbery shall have a total minimum height of 30-inches. In these areas a minimum of one (1) canopy tree and one (1) accent tree shall be incorporated into the landscape buffer per 50-linear feet of frontage along the adjacency. Clustering of trees shall be permitted as long as all required trees are situated within the landscape buffer. Currently the landscape plan shows 5 Canopy. The frontage along Ranch Trail Drive requires 5 Canopy and 5 Accent Trees. Please indicate on Landscape Plan. (Subsection 05.01.B.1, of Article 08)
- (7) All parking spaces shall be within 80' of a tree (Subsection 05.03.E, of Article 08)
- (8) Identify all visibility triangles for all driveway intersections and public streets. (Subsection 01.08, of Article 05)
- (9) Trees must be planted at least five (5) foot from water, sewer, and storm sewer lines. (Subsection 05.03.E, of Article 08)
- (10) Provide a not indicating irrigation will meet requirements of UDC. (Subsection 05.04, Article 08)
- (11) The developer shall establish grass and maintain the seeded area, including watering, until a "Permanent Stand of Grass" is obtained at which time the project will be accepted by the City. A "Stand of Grass" shall consist of 75% to 80% coverage and a minimum of one-inch (1") in height as determined by the City. (Section 4.2, Coverage, Engineering Standards of Design and Construction).
- (12) All landscape buffers and public right-of-way located adjacent to a proposed development shall be improved with grass (i.e. sod -- hydro mulch shall be prohibited in these areas) prior to the issuance of a Certificate of Occupancy (CO).
- (13) All canopy trees shall be 4" Caliper or larger. (Subsection 07.01, of Article 09)
- (14) What is the additional hatched area around the building?
- (15) Decomposed granite drives are not permitted. These must be concrete.

M.9 Photometric Plan:

- (1) Provide a photometric plan indicating the light levels of any lighting added to the site including wall packs and indicate the light levels throughout the property. (Subsection 03.03, of Article 07)
- (2) The allowable maximum light intensity measured at the property line of a non-residential property shall be 0.2 of one foot candle. (Subsection 03.03.C, of Article 07)
- (3) The maximum outdoor maintained, computed, measured illumination level within any non-residential development shall not exceed 20 FC at any point on the site. (Subsection 03.03.G, of Article 07)
- (4) No light pole, base, or combination thereof shall exceed 30 feet. (Subsection 03.03.D, of Article 07)
- (5) Provide lighting cut sheets that indicates the wattage for each exterior lighting fixture. Light sources (e.g. light bulbs) shall be oriented down and toward the center of the site or shielded so as to not be visible from the property line. (Subsection 03.03, of Article 07)

M.10 Building Elevations:

- (1) Please provide a numeric and graphic scale as well as horizontal and vertical measurements of each façade.
- (2) Indicate which exterior elevations are adjacent to right-of-way.
- (3) Indicate the surface area of each façade and the square footage of each material used on that façade. (Subsection 04.01, of Article 05)
- (4) Provide all specifications and descriptions of each proposed building materials and please provide a physical material sample board that meets the City's submittal requirements before the September 27, 2022 Architecture Review Board meeting. (Subsection 04.01 of Article 5)
- (5) Indicate the roofing materials and color.
- (6) All structures shall have the option of being constructed with either a pitched (minimum of a 6:12 roof pitch), parapet, or mansard roof system as long as the roof system is enclosed on all sides. Metal roofs with lapped seam construction, bituminous built-up roofs, and/or flat membrane type roofs that are visible from adjacent properties or public right-of-way shall be prohibited. Projecting elements and parapets that are visible from adjacent properties or public right-of-way shall be finished on the interior side using the same materials as the exterior facing wall. In this case, the proposed building has less than a 6:12 roof pitch. This will require an exception. (Subsection 04.01A.1, of Article 05)
- (7) The maximum wall length shall not exceed three (3) times the hall height. In this case, the wall length on both secondary facades exceeds this maximum. This will require an exception to the building articulation standards. (Figure 7, Article 05)
- (8) Indicate all roof mounted mechanical equipment and indicate how these will be screened from the view of all adjacent properties and roadways. (Subsection 01.05.C of Article 05)

I.11 Based on the materials submitted staff has identified the following exceptions for this project:

- (1) Building Articulation on Secondary Building Facades. According to Article 05, Development Standards, of the Unified Development Code (UDC) all secondary building facades for commercial buildings are required to meet the standards stipulated in Section 04.01C2. In this case the two (2) secondary facades (i.e. the "rear" and "right" building elevations) do not meet these standards.
- (2) Roof Pitch. According to Article 05, Development Standards, of the Unified Development Code (UDC), "All structures shall have the option of being constructed with either a pitched (minimum of a 6:12 roof pitch) ..." In this case, the proposed roof pitch is less than 6:12.
- (3) Parking. According to Article 05, Development Standards, of the Unified Development Code (UDC), "(p)arking should not be located between the front façade and the property line". In this case, the existing building has large setbacks from the front property line and it is understandable to put parking in the front. Regardless, this is still an exception and requires 2 compensatory measures.

M.12 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measure for each exception or variance is required. In this case, staff has identified three (3) exceptions. In order to request an exception, the applicant will need to provide a letter outlining the requested exceptions and the six (6) required compensatory measures.

M.13 Please review and correct all items listed by the Engineering Department.

I.14 Please note the scheduled meetings for this case:

- (1) Planning & Zoning Work Session meeting will be held on September 27, 2022.
- (2) Planning & Zoning meeting/public hearing meeting will be held on October 11, 2022.

I.15 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	09/21/2022	Needs Review

09/21/2022: - The landscape plan does not match the site plan.

- Call out distance to the driveway to the north. Must have 100' separation between all driveways.
- Show driveway on opposite side of Ranch Trail.

- Can't use a dead end line for more than one "use" Fire hydrant will need to be installed off of a looped line.
- Proposed fire hydrant lead is greater than the allowed 150'. 8" Water line must be looped.
- Dumpster must be skewed to allow trash truck access and backing.
- Water line is on the opposite site of Ranch Trail.
- Parking to be 20'x9'.

The following items are informational for the engineering design process.

General Items:

- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements. No structures allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls must be rock or stone face. No smooth concrete walls.

Drainage Items:

- Detention is required
- Detention outfall shall be at sheet flow conditions or an off-site drainage easement is required.
- C-value is calculated on zoning type.
- Dumpster to drain to an oil/water separator and then the storm lines.
- Detention pond must drain in a sheet flow condition.

Water and Wastewater Items:

- Must loop min 8" water line on site.
- Water lines used for fire hydrants must be in a minimum 20' wide water easement.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Show FDC location.
- Minimum public sewer is 8".
- Must tie to 8" on the other side

Roadway Paving Items:

- All paving to be concrete.
- Parking to be 20x9'.
- Drive isles to be 24' wide.
- No dead-end parking allowed.
- Fire lane to have 20' min radius. Fire lane to be in a platted easement.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	09/20/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	09/20/2022	Approved w/ Comments

09/20/2022: The building shall be provided with a fire sprinkler system throughout.

FDC shall be facing and visible from the fire lane.

FDC must be within 100 feet of a fire hydrant.

The FDC shall be clear and unobstructed with a minimum of a 5-foot clear all-weather path from fire lane access.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	09/19/2022	Approved

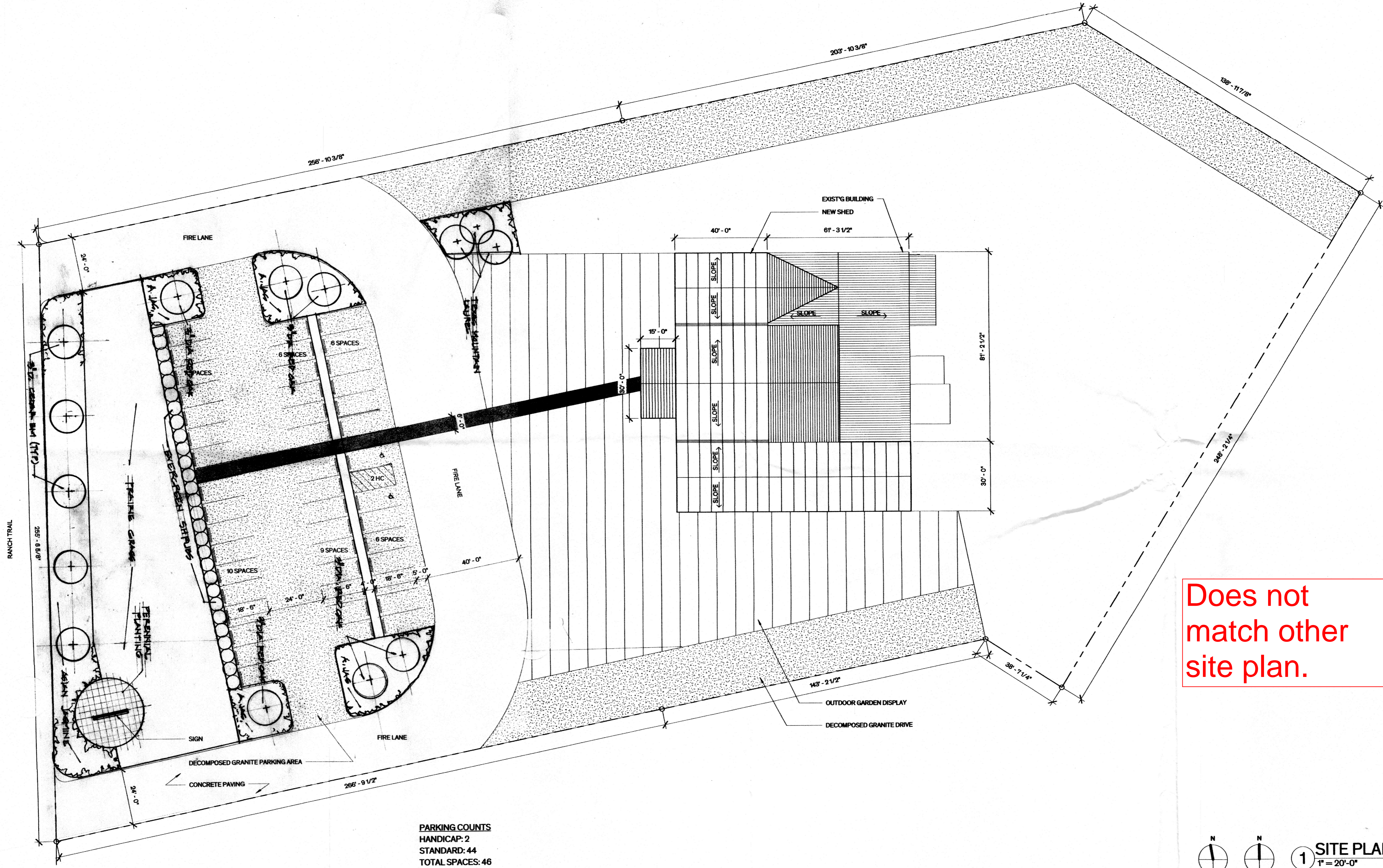
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	09/19/2022	Approved

No Comments

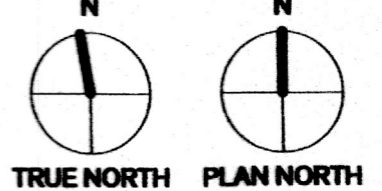
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	09/19/2022	Approved w/ Comments

09/19/2022: Please provide a legend with plant types and sizes.



Does not match other site plan.

PARKING COUNTS
 HANDICAP: 2
 STANDARD: 44
 TOTAL SPACES: 46


1 SITE PLAN
 1" = 20'-0"



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE:

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹

PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹

FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹

REPLAT (\$300.00 + \$20.00 ACRE) ¹

AMENDING OR MINOR PLAT (\$150.00)

PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

SITE PLAN (\$250.00 + \$20.00 ACRE) ¹

AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹

SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}

PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

TREE REMOVAL (\$75.00)

VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 207 Ranch Trail, Rockwall, TX 75032

SUBDIVISION Part of Tract 12 LOT _____ BLOCK _____

GENERAL LOCATION South of I30 / North of Horizon Rd., in Rockwall

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING C CURRENT USE Planning Consultant Office/Supplies

PROPOSED ZONING C PROPOSED USE Landscaping Nursery & Sales

ACREAGE 2.98 LOTS [CURRENT] 0 LOTS [PROPOSED] 0

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	<u>Mike Ruibal</u>	<input type="checkbox"/> APPLICANT	<u>Mike Ruibal</u>
CONTACT PERSON	<u>SAME</u>	CONTACT PERSON	<u>SAME</u>
ADDRESS	<u>401 SO. PEARL DALLAS 75201</u>	ADDRESS	<u>401 SO. PEARL DALLAS 75201</u>
CITY, STATE & ZIP		CITY, STATE & ZIP	
PHONE	<u>214 415 1352</u>	PHONE	<u>214 415 1352</u>
E-MAIL	<u>Mike@Ruibals.com</u>	E-MAIL	<u>Mike@Ruibals.com</u>

NOTARY VERIFICATION [REQUIRED]

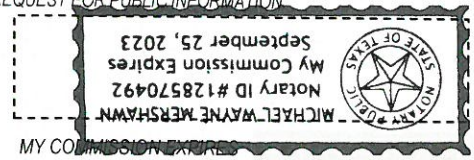
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Mike Ruibal [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

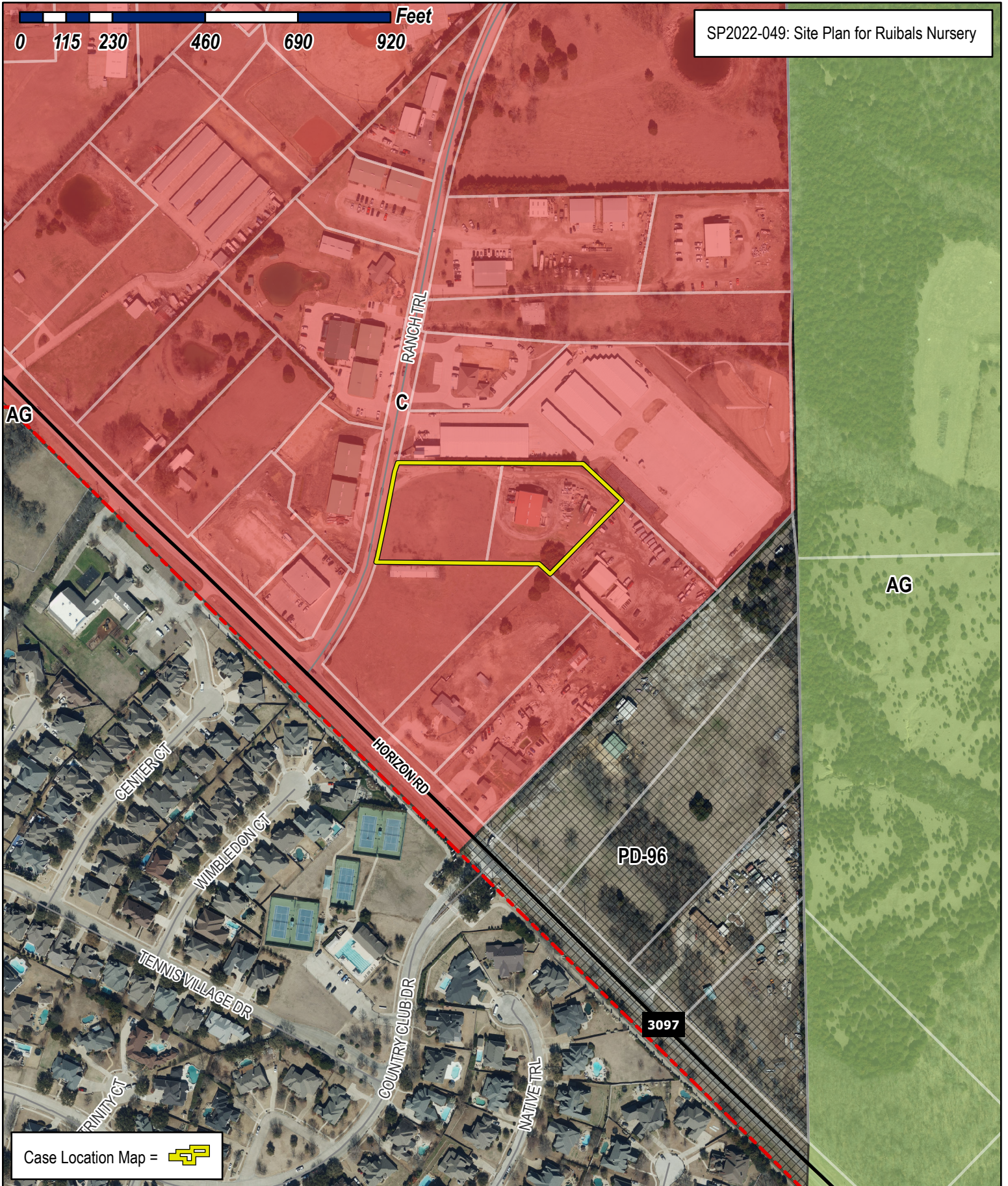
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 318.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 5 DAY OF August, 20 23 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."


GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF _____, 20____

OWNER'S SIGNATURE Mike A Ruibal

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]





Case Location Map = 

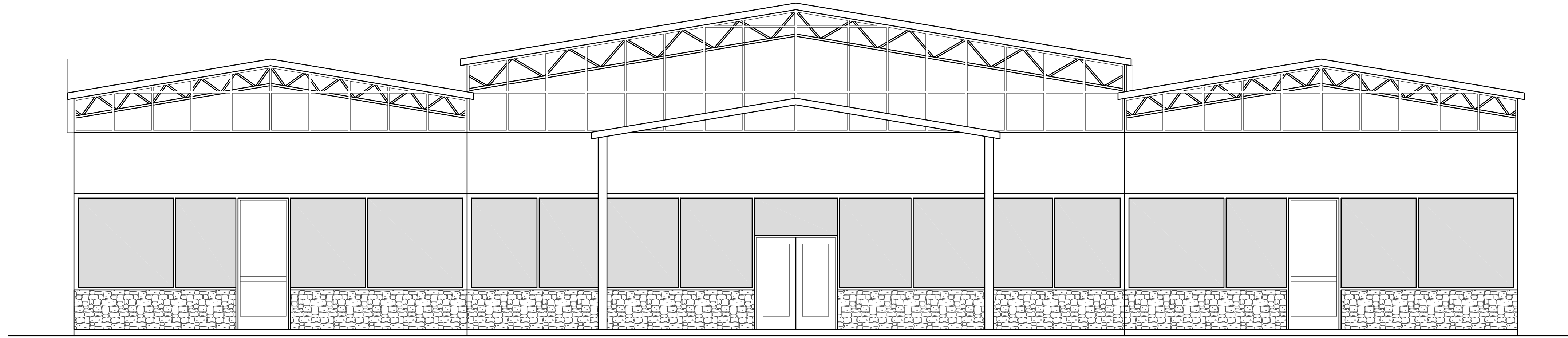


City of Rockwall

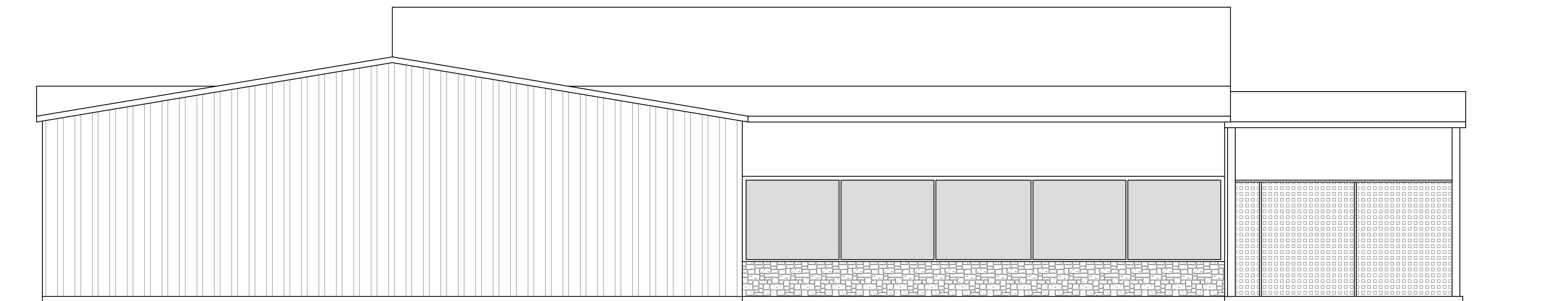
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





FRONT ELEVATION



LEFT ELEVATION

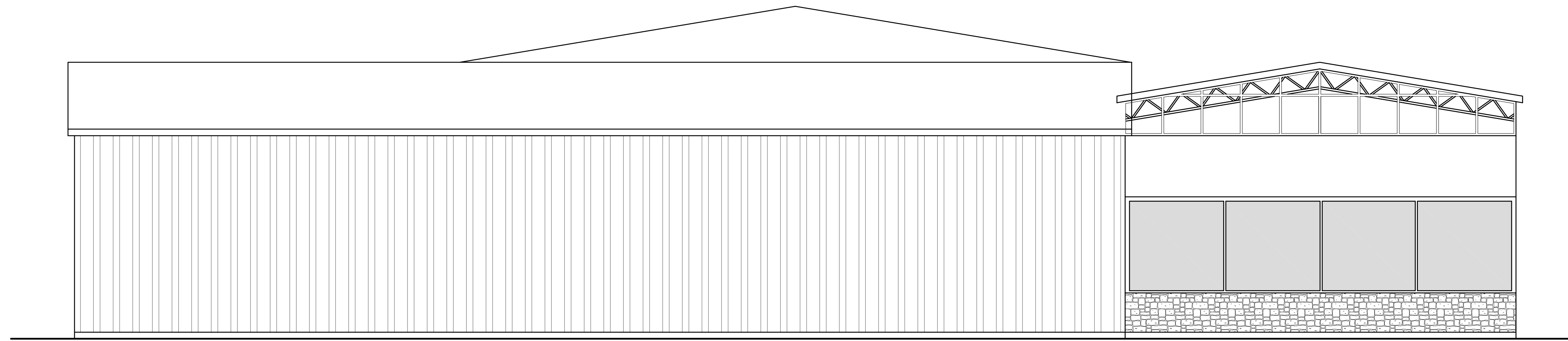
MEDICAL COMMERCIAL CHURCHES
MERSHAWN ARCHITECTS
RESIDENTIAL RESTAURANTS INSTITUTIONAL
1520 E INTERSTATE 30
ROCKWALL, TEXAS 75087
PHONE: 469-745-1701

No.	Date	Revision	By

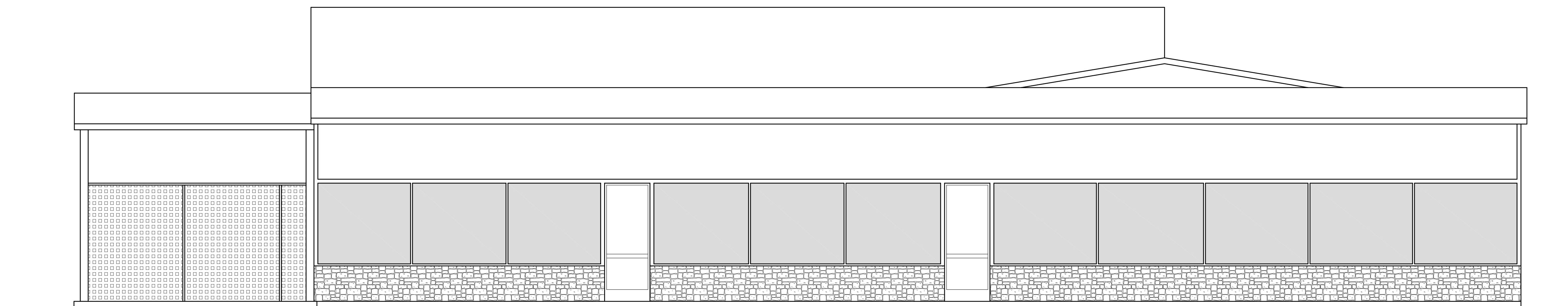
MIKE RUIBAL
RUIBAL'S GARDEN CENTER
PROPOSED ELEVATIONS

Scale: 3/16" = 1'-0"
Date: 02/24/2022
Project No.: TBD
Designed: MM
Drawn: MM
Checked: MM

SHEET
2 OF
3



REAR ELEVATION



RIGHT ELEVATION

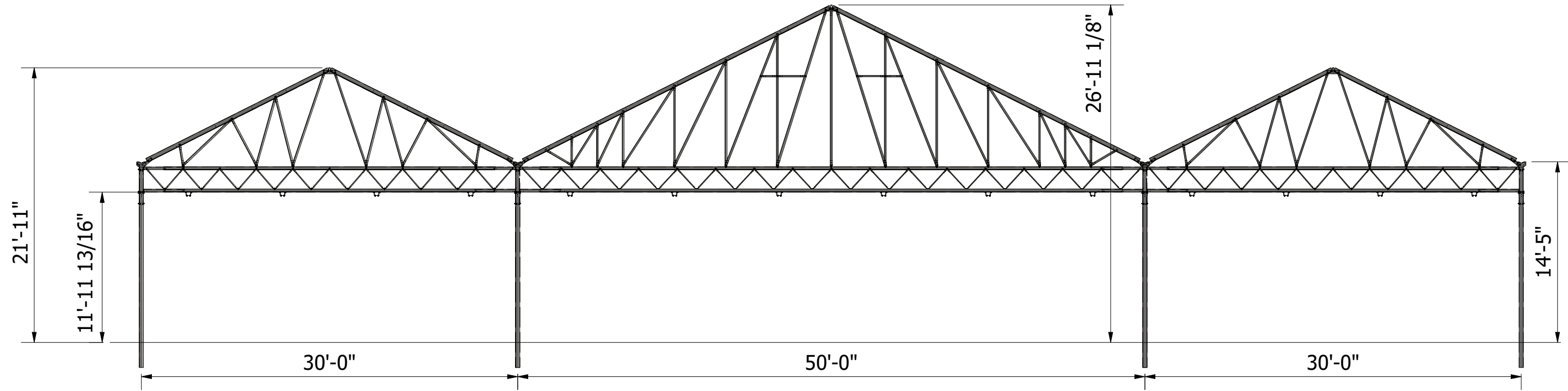
MEDICAL COMMERCIAL CHURCHES
MERSHAWN
1520 E INTERSTATE 30
ROCKWALL, TEXAS 75087
PHONE: 469-745-1701

No.	Date	Revision	By

MIKE RUIBAL
RUIBAL'S GARDEN CENTER
PROPOSED ELEVATIONS

Scale: 3/16" = 1'-0"
Date: 02/24/2022
Project No.: TBD
Designed: MM
Drawn: MM
Checked: MM

SHEET
3 OF
3



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DATE: 6/2/2022
 SCALE: NTS
 JOB NO:
 DRAWN BY: JOSH COILEY
 APPROVED:

TITLE: MIKE RUIBALS
 ENGINEER
 JOB NAME: GARDEN CENTER

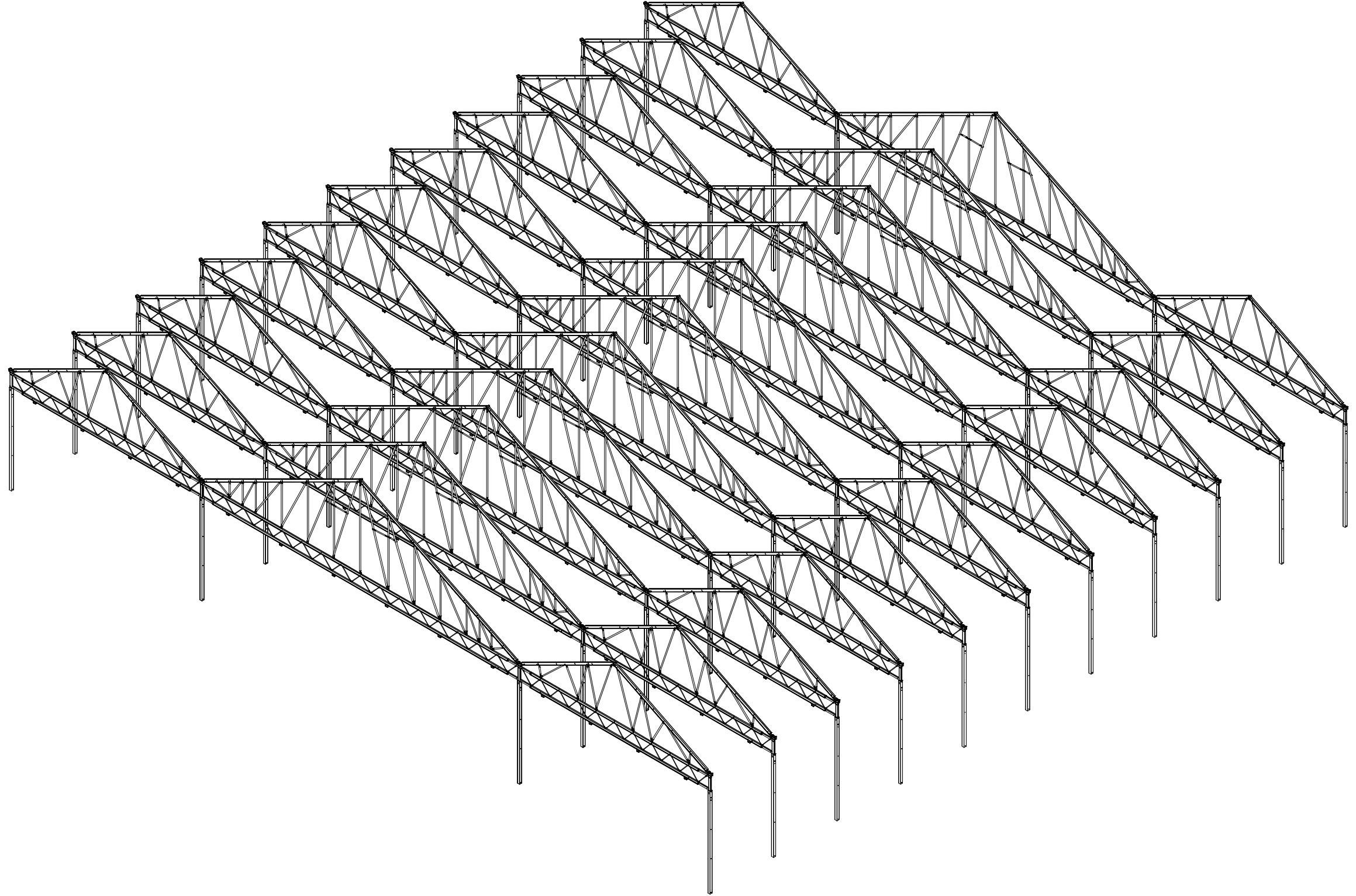
LOADING

DRAWING NO.

DRAWING SET

Sheet 1 of 3

CERTIFICATION



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DATE: 6/2/2022
 SCALE: NTS
 JOB NO:
 DRAWN BY: JOSH COHLEY
 APPROVED:

TITLE:
 ENGINEER:
 JOB NAME:

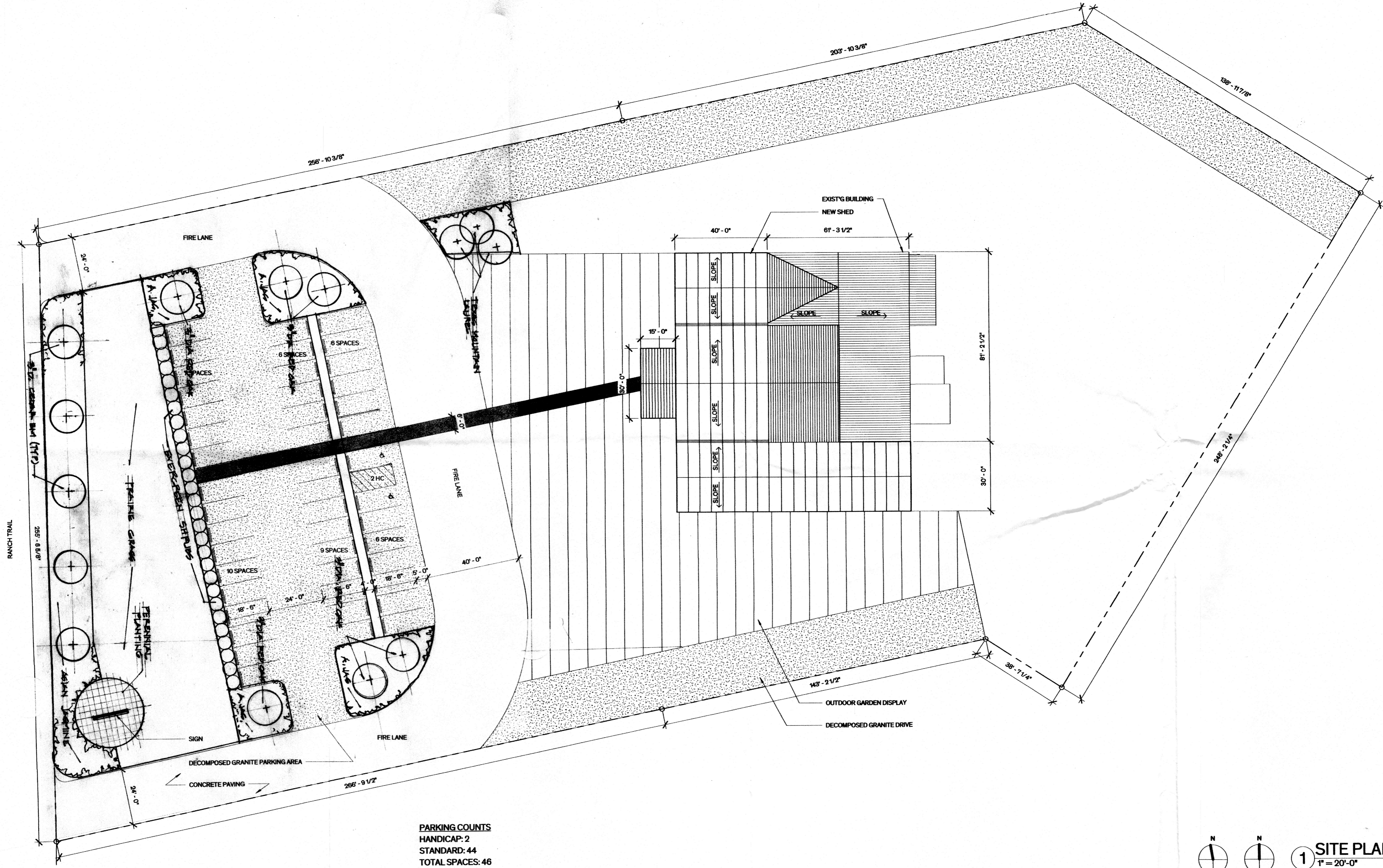
LOADING:

DRAWING NO.:

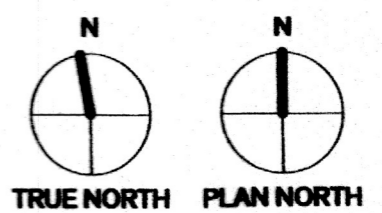
DRAWING SET:

Sheet 2 of 3

CERTIFICATION



PARKING COUNTS
 HANDICAP: 2
 STANDARD: 44
 TOTAL SPACES: 46



1 SITE PLAN
 1" = 20'-0"

CONTRACTOR TO VERIFY PLANS AND TO VISIT SITE AND NOTIFY MERSHAWN ARCHITECTS OF ANY DISCREPANCIES BEFORE CONSTRUCTION.



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RESIDENTIAL RESTAURANTS
INSTITUTIONAL
ARCHITECTS

MEDICAL COMMERCIAL
CHURCHES
MERSHAWN

1520 E INTERSTATE 30
ROCKWALL, TEXAS 75087
PHONE: 469-745-1701

No.	Date	Revision	By

MIKE RUIBAL
RUIBAL'S GARDEN CENTER
PROPOSED FLOOR PLAN

Scale:	3/16" = 1'-0"
Date:	02/24/2022
Project No.:	TBD
Designed:	MM
Drawn:	MM
Checked:	MM

SHEET
1 OF
3



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DATE: 6/2/2022
 SCALE: NTS
 JOB NO:
 DRAWN BY: JOSH COHLEY
 APPROVED:

TITLE:
 ENGINEER:
 JOB NAME:

LOADING:

DRAWING NO.:

DRAWING SET:

Sheet 3 of 3

CERTIFICATION:

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 9/21/2022

PROJECT NUMBER: SP2022-050
PROJECT NAME: Site Plan for Bacon Plumbing Phase 2
SITE ADDRESS/LOCATIONS: 2055 KRISTY LN

CASE MANAGER: Henry Lee
CASE MANAGER PHONE: 972.772.6434
CASE MANAGER EMAIL: hlee@rockwall.com

CASE CAPTION: Discuss and consider a request by Jeff Carroll of Jeff Carroll Architects on behalf of Brad Bacon of Bacon Property, LLC for the approval of an Amended Site Plan for an existing Office/Warehouse facility on a 0.50-acre parcel of land identified as Lot 1, Block A, Bacon Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 2055 Kristy Lane, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	09/21/2022	Needs Review

09/21/2022: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for an existing Office/Warehouse facility on a 0.50-acre parcel of land identified as Lot 1, Block A, Bacon Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 2055 Kristy Lane.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2022-050) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC), the Light Industrial (LI) District standards and the Development Standards of Article 05, that are applicable to the subject property.

I.5 If any additional lighting is being added to the site, including wall packs for the proposed building, a photometric plan must be provided.

M.6 Site Plan:

1. The distance between buildings must be 15-feet, otherwise a fire rated wall is required. (Subsection 03.04. B, of Article 11)
2. Provide the perimeter dimensions of the proposed building. (Subsection 03.04. B, of Article 11)
3. Please provide the dimension for a typical parking space. (Subsection 05.03, of Article 06)
4. Please confirm the required parking indicated within the site data. Per the table only the existing building is calculated for. (Subsection 05.01, of Article 06)
5. Label the height and type of any existing or proposed fencing. (Subsection 08.02. F, of Article 08)
6. Indicate any ground mounted utility equipment and the subsequent screening. (Subsection 01.05. C, of Article 05)
7. Indicate any roof mounted utility equipment and crosshatch it on the building elevations. (Subsection 01.05. C, of Article 05)
8. There shall be no outside storage. (Article 04)
9. The proposed off-street loading must be screened. Provide landscape screening on the west property line. (Subsection 01.05. A, of Article 05)

M.7 Building Elevations:

1. Please provide the material percentages for each side of the building. (Subsection 05.01. A. 1, of Article 05)
2. Please indicate the cardinal directions of the building facades. (Subsection 05.01, of Article 05)
3. Please show the ghost the parapets that are in the background of a building façade. (Subsection 05.01, of Article 05)
4. Please add depth to the parapet on the "Front" elevation. (Subsection 05.01, of Article 05)
5. Please provide a note indicating that the parapet will be finished on both sides with the same material as the exterior facing wall. (Subsection 05.01, of Article 05)
6. The cementitious material appears to exceed the 50% maximum requirement, which will require a variance. (Subsection 04.01, of Article 05)
7. The stone appears to be deficient of the 20% minimum requirements, which will require a variance. (Subsection 04.01, of Article 05)
8. The wall projection height is not 25% of the height of the wall, and the wall length appears to exceed four (4) times the height. This will require a variance to the Primary Articulation Standards. (Subsection 05.01, of Article 05)
9. Please crosshatch the roof mounted utility equipment. (Subsection 01.05. C, of Article 05)

I.8 Staff has identified the following variances associated with the proposed request: [1] greater than 50% cementitious material, [2] less than 20% stone, and [3] four-sided architecture. Should you decide to request these items as variances, please provide a letter that lists the variances, why they are being requested, and the subsequent compensatory measures. For each variance requested you must provide two (2) compensatory measures (Subsection 09.01, of Article 11). Examples of compensatory measures include the increased use of masonry material or stone, increased articulation, increased architectural elements, more pedestrian amenity, etc.

I.9 Please note that failure to address all comments provided by staff by 3:00 PM on October 4, 2022 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.10 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on October 4, 2022; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the October 11, 2022 Planning & Zoning Meeting.

I.11 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on September 27, 2022.
- 2) Planning & Zoning meeting/public hearing meeting will be held on October 11, 2022.

I.12 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	09/21/2022	Needs Review

09/21/2022: Will need to revise detention pond B so that the building is located outside of the easement. (see last page)

- Replat is required to revise easements.
- All paving will be concrete.
- Longitudinal Butt joint needed to tie in concrete to existing.
- Will there be a new water meter?
- Parking island for the fire hydrant must be 10' wide minimum.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	09/20/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	09/20/2022	Approved w/ Comments

09/20/2022: Egress from the existing building will need to be reviewed for compliance with the common path of travel distance limitations. It appears that the proposed building will create a dead-end corridor space due to the north stair blocking access to the public way.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	09/19/2022	Approved

No Comments

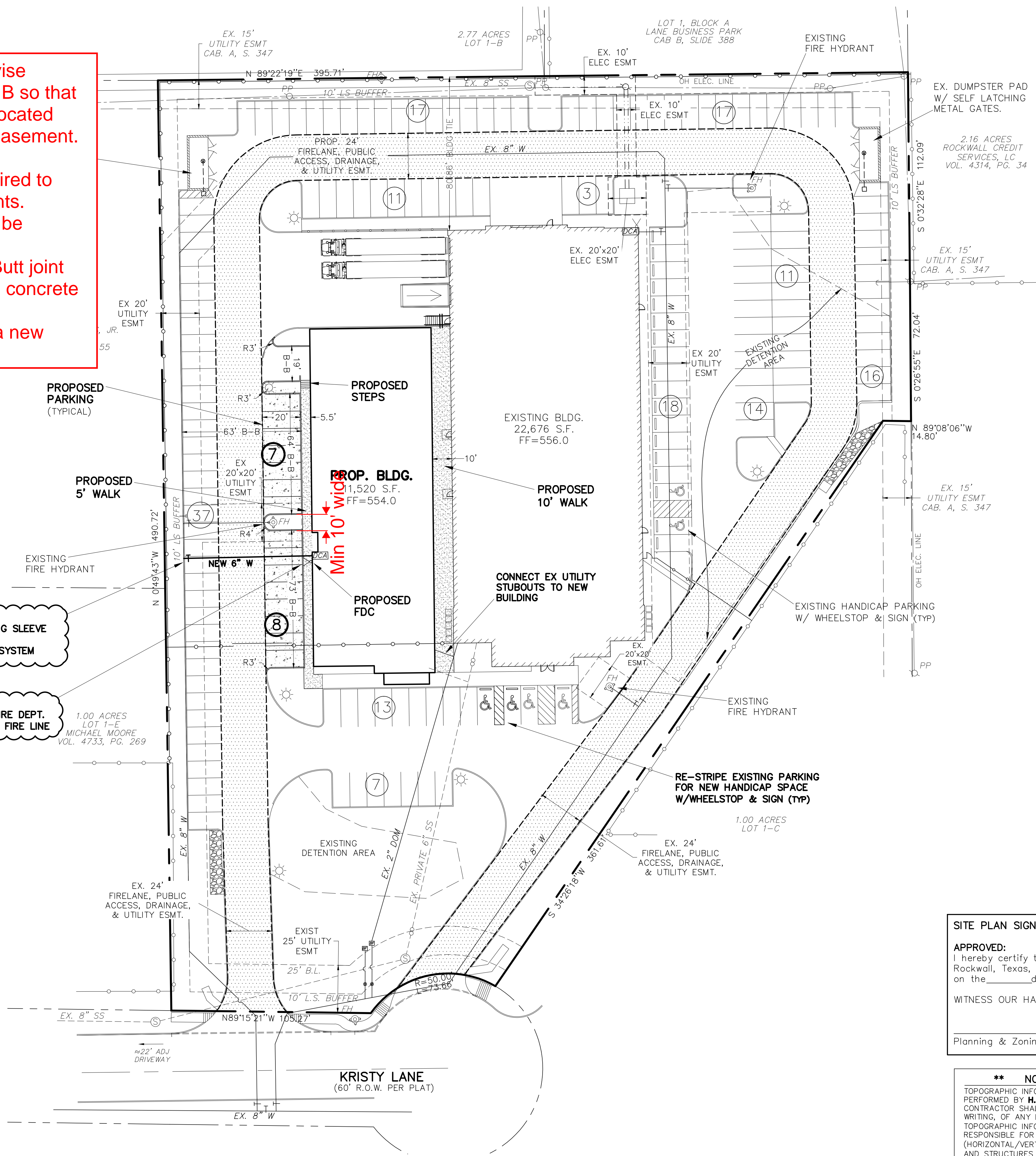
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	09/19/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	09/19/2022	Approved w/ Comments

09/19/2022: Please provide a landscape plan for this project

Will need to revise detention pond B so that the building is located outside of the easement. (see last page)
 - Replat is required to revise easements.
 - All paving will be concrete.
 - Longitudinal Butt joint needed to tie in concrete to existing.
 - Will there be a new water meter?



- NOTES:**
- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
 - 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
 - 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
 - 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.

- PAVING NOTES:**
- 1) NEW PAVING TO BE 6" THICK (SIDEWALK TO BE 4"), 3000 psi, 6 SACK MIX, REINFORCED WITH #3 BARS @ 18" O.C.
 - 2) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +6% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
 - 3) SIDEWALK TO BE 4" THICK CONCRETE, 3000 psi, 5.5 SACK MIX IN R.O.W.
 - 4) NO SAND UNDER PAVING.
 - 5) NO PAVING, INCLUDING SLAB, TO BE INSTALLED UNTIL THE DETENTION SYSTEM(S) ARE FULLY INSTALLED FUNCTIONALLY, PER PLAN, & HAVE ANCHORED SEEDED CURLEX OR SOD ON THE SIDES & BOTTOM OF POND

SITE DATA:

LOT AREA:
3.57 Acres, 155,294 sq.ft.

LOT COVERAGE:
Existing - 14.6%
Proposed - 22.02%

FLOOR TO AREA RATIO:
Existing - 6.85:1
Proposed - 4.54:1

BUILDING AREA:
Existing: 22,676 sq.ft.
Proposed: 11,520 sq.ft.
NEW TOTAL: 34,196 sq.ft.

BUILDING HEIGHT:
1 STORY

PROPOSED USE:
Office/Warehouse

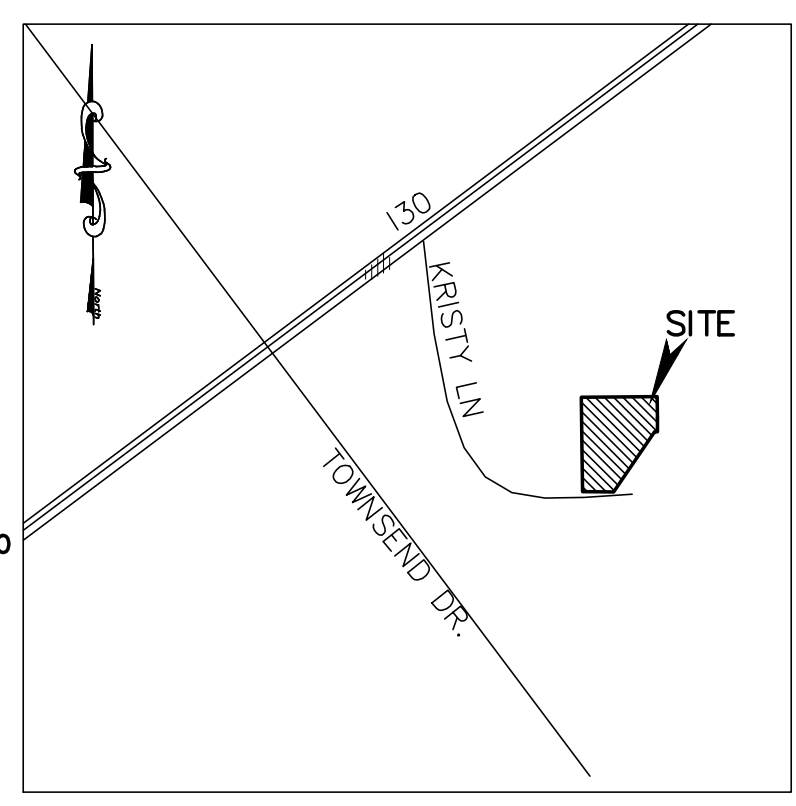
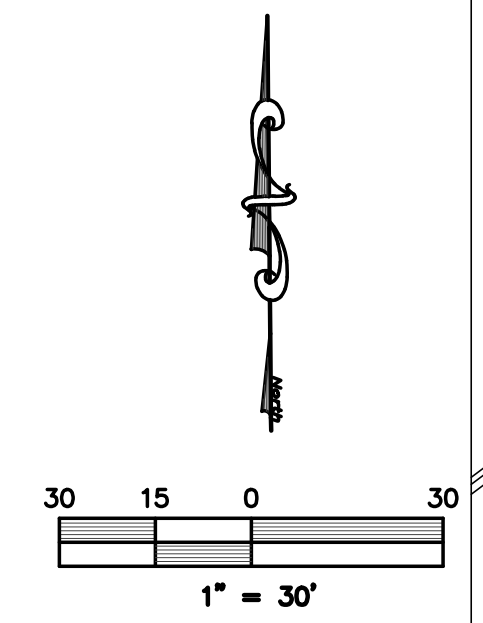
IMPERVIOUS AREA (including buildings):
Existing: 106,733 sq.ft.
Proposed: 17,594 sq.ft.
NEW TOTAL: 124,327 sq.ft.

ZONING:
LI

PARKING:
Required:
Office (1/300sf) = 42
Warehouse (1/1000sf) = 11
TOTAL = 53
Provided:
Existing Standard = 159
Proposed = 15
Handicap = 6
Total Provided = 179

LANDSCAPE AREA:
Required: (15%) 23,294 sq.ft.
Existing Provided: 48,561 sq.ft.
Proposed Provided: 30,967 sq.ft.

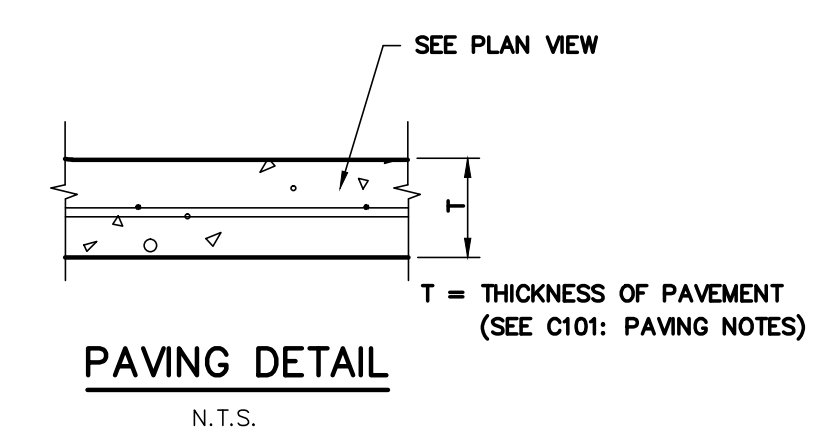
FIRESPRINKLER:
YES
* THERE ARE EXIST. BUILDINGS & TREES ON THIS SITE



LOCATION MAP (NOT TO SCALE)

LEGEND

- = PROPERTY LINE
- 460 = EXISTING CONTOURS
- 460 = PROPOSED CONTOURS
- x 463.00 TC or x 462.50 = PROPOSED SPOT GRADES
- tc = TOP OF CURB
- ep = EDGE OF PAVEMENT
- tw = TOP OF WALL
- bw = BOTTOM OF WALL
- (ALL SPOT GRADES ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED)
- EX. SS = EXISTING SANITARY SEWER LINE
- EX. W = EXISTING WATER LINE
- FH = EXISTING FIRE HYDRANT
- WM = EXISTING WATER METER
- PP = EXISTING POWER POLE
- LP = EXISTING LIGHT POLE
- T = EX. WATER VALVE
- ⊙ = EXISTING SEWER MANHOLE
- ⊙ = EXISTING GAS METER
- B-B = BACK OF CURB TO BACK OF CURB
- EXIST. or EX. = EXISTING
- PROP. = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- ⊙ = PROPOSED FIRE HYDRANT
- = EXISTING FIRELANE



INSTALL:
(1) 8"x6" TAPPING SLEEVE
(1) 6" VALVE
FIRE SPRINKLER SYSTEM

INSTALL:
RPZ IN BLDG W/ FIRE DEPT.
CONNECTION ON 4" FIRE LINE

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.

WITNESS OUR HANDS, this _____ day of _____.

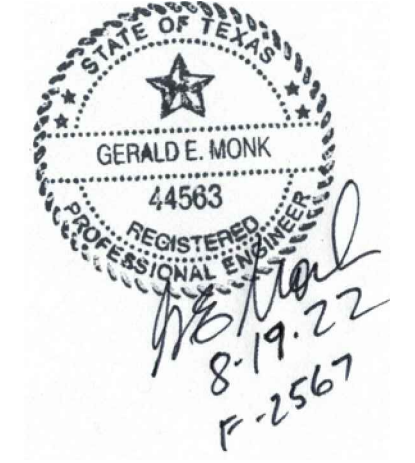
Planning & Zoning Commission, Chairman

Director of Planning and Zoning

**** NOTICE TO CONTRACTORS ****

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. FETTY OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS (P&E), WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



CASE # SP2022-XXX

SITE PLAN

BACON PLUMBING OFFICE PHASE 2

2055 KRISTY LANE
LOT 1-M, BODIN INDUSTRIAL TRACT, 3.54 ACRES
City of Rockwall, Rockwall County, Texas

owner
BACON PROPERTY, LLC
295 Ranch Trail, Rockwall, Texas 75032
Contact: Brad Bacon (972)236-5794

prepared by
MONK CONSULTING ENGINEERS, INC.
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

REG No.: F-2567
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date: 8/19/22 scale: 1" = 30' sheet: C101



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 2055 KRISTY LN.

Subdivision 3.54 AC. BODIN INDUSTRIAL TRACT

Lot 1-m Block

General Location I-30 SERVICE Rd & KRISTY LN

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning LI

Current Use OFFICE / WAREHOUSE

Proposed Zoning SAME

Proposed Use SAME

Acreage 0.50 AC

Lots [Current] 1

Lots [Proposed] 1

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner BACON Property, LLC

Applicant CARROLL Architects, INC

Contact Person BRAD BACON

Contact Person JEFF CARROLL

Address 2055 KRISTY LN.

Address 750 E. I-3

#110

City, State & Zip ROCKWALL, TX 75032

City, State & Zip Rockwall TX 75087

Phone 214.280.2296

Phone 214.632.1762

E-Mail BRAD@EVERYONELOVESBACON.COM

E-Mail JC@CARROLLARCH.COM

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Brad Bacon [Owner] the undersigned, who stated the information on this application to be true and certified the following:

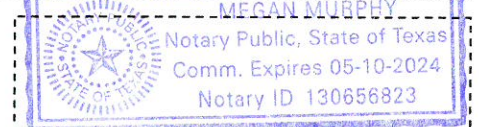
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$_____, to cover the cost of this application, has been paid to the City of Rockwall on this the 16 day of September, 2022. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 16 day of September, 2022

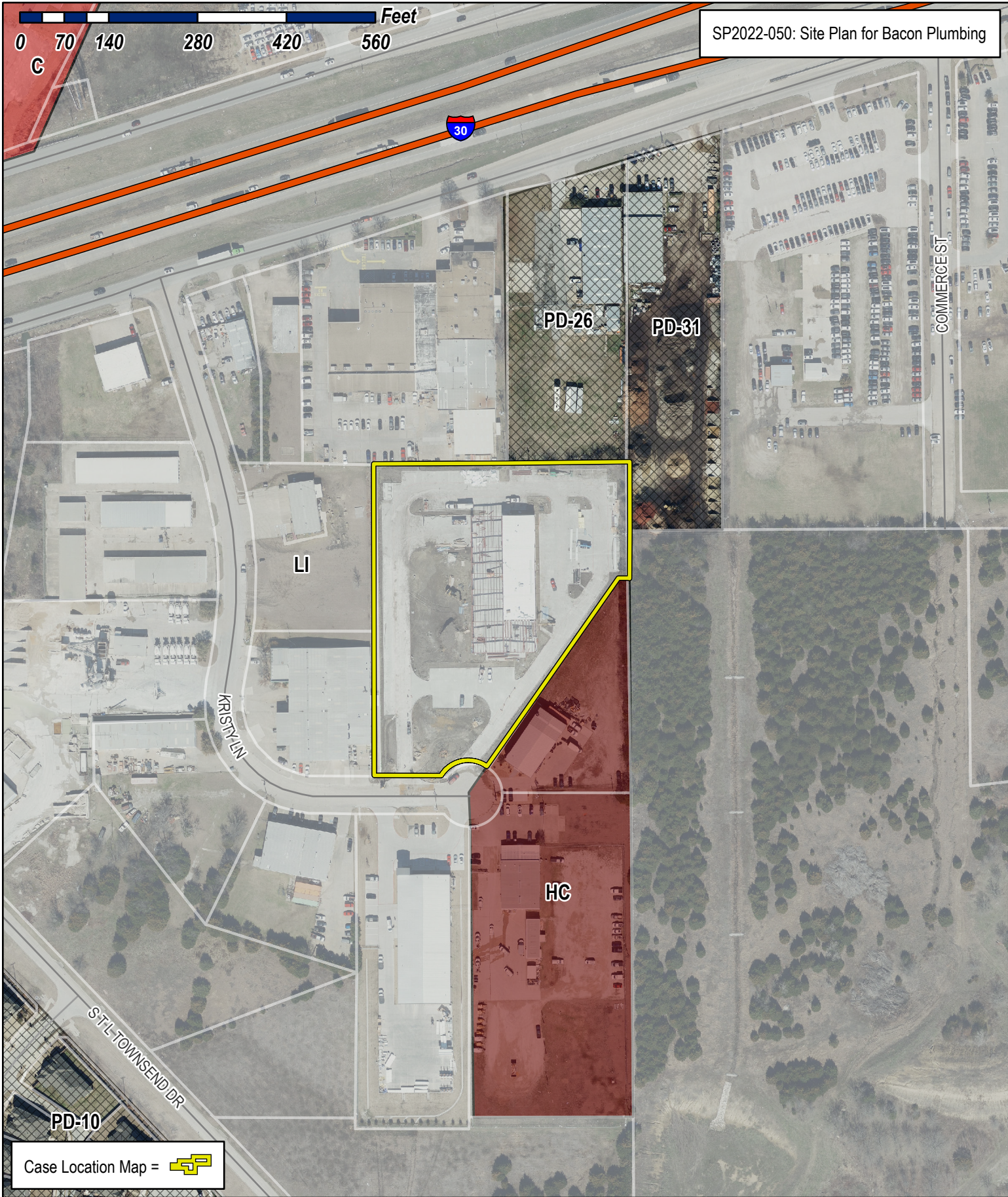
Owner's Signature

Brad Bacon

Notary Public in and for the State of Texas



My Commission Expires 5.10.24



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





750 Interstate 30
Suite 110
Rockwall, TX 75087
t: 972-732-6085
f: 972-732-8058

September 16, 2022

Mr. Ryan Miller
City of Rockwall Director of Planning
City Hall 385 S. Goliad
Rockwall, TX 75087

Re: Project Explanation letter
Bacon Phase 2 Project
2055 Kristy Ln
Rockwall, TX. 75032

Mr. Miller,

This letter serves as a summary of the other plans **not** submitted in the typical site plan approval package for submission.

Site Plan Package Submission for Phase 2 Development.

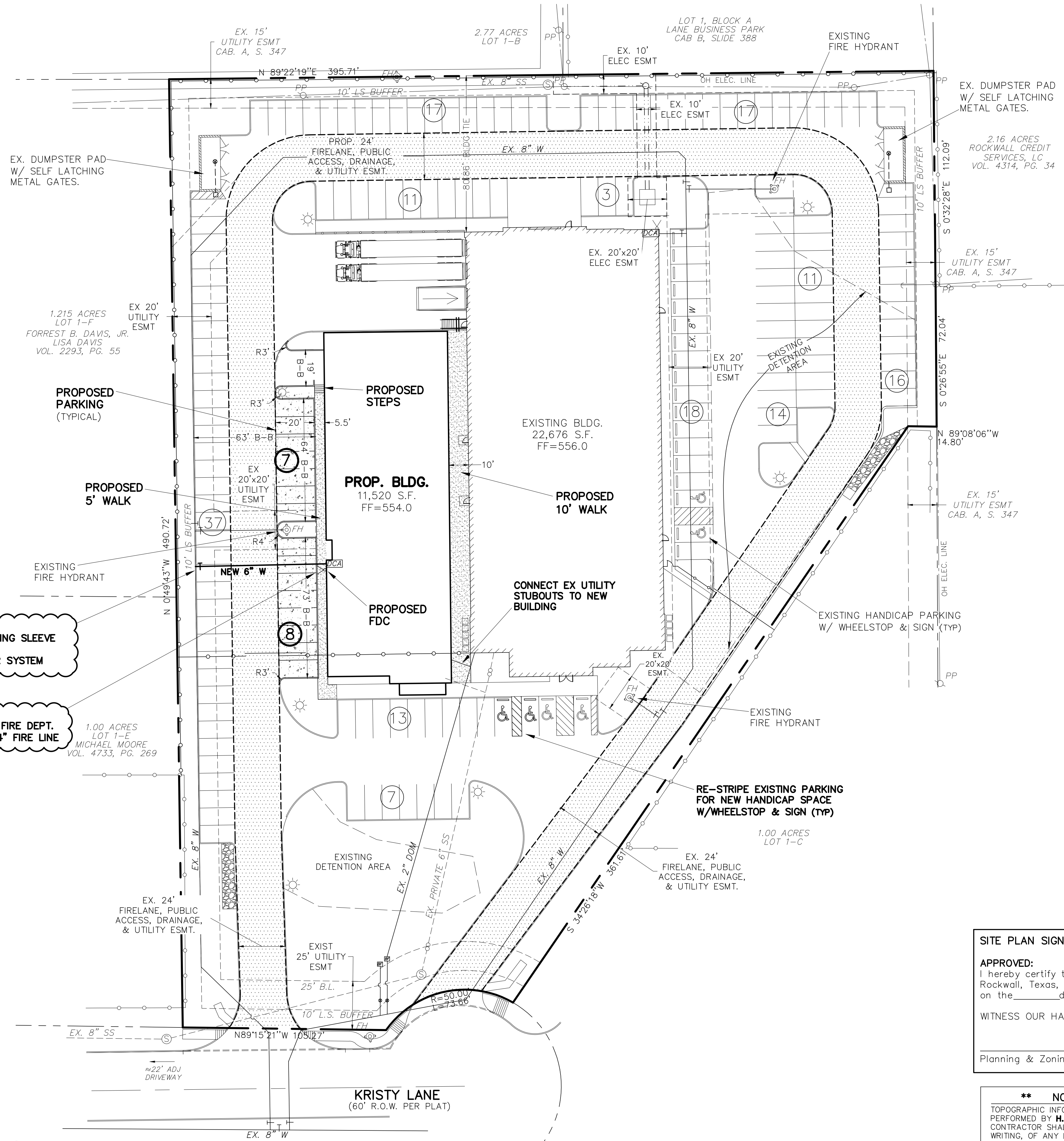
- A) **Landscape Plan, Treescape Plan, Site Lighting Plan.** We understand that the landscape, tree survey, and site lighting plans (photometric plan) were approved during the Phase 1 approval package. These plans were developed on site during phase 1 construction.

Thank you for consideration and reviewing our request.

Sincerely,

A handwritten signature in black ink that reads 'Jeff Carroll' in a cursive script.

Jeffrey Carroll
Carroll Architects, Inc.
President / CEO



- NOTES:**
- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
 - 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
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- 1) NEW PAVING TO BE 6" THICK (SIDEWALK TO BE 4"), 3000 psi, 6 SACK MIX, REINFORCED WITH #3 BARS @ 18" O.C.
 - 2) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +6% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
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 - 4) NO SAND UNDER PAVING.
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SITE DATA:

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3.57 Acres, 155,294 sq.ft.

LOT COVERAGE:
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Proposed - 22.02%

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Proposed - 4.54:1

BUILDING AREA:
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NEW TOTAL: 34,196 sq.ft.

BUILDING HEIGHT:
1 STORY

PROPOSED USE:
Office/Warehouse

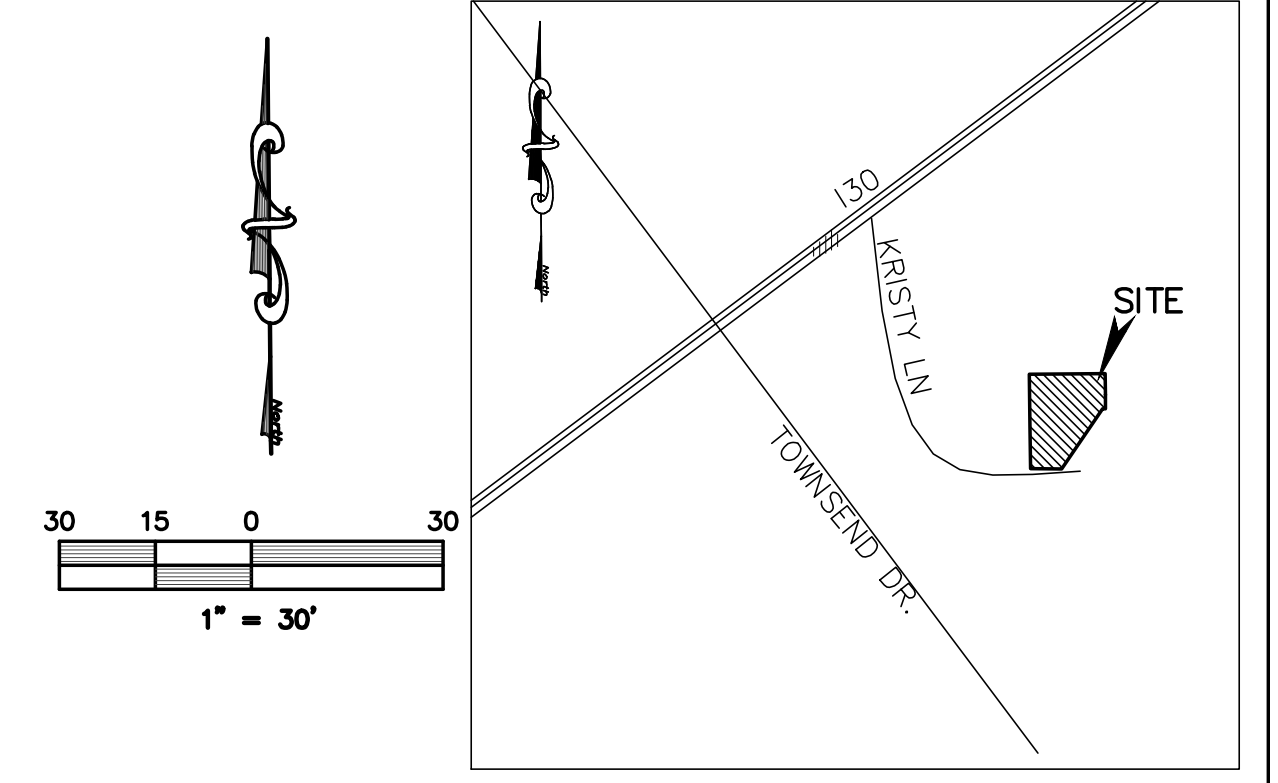
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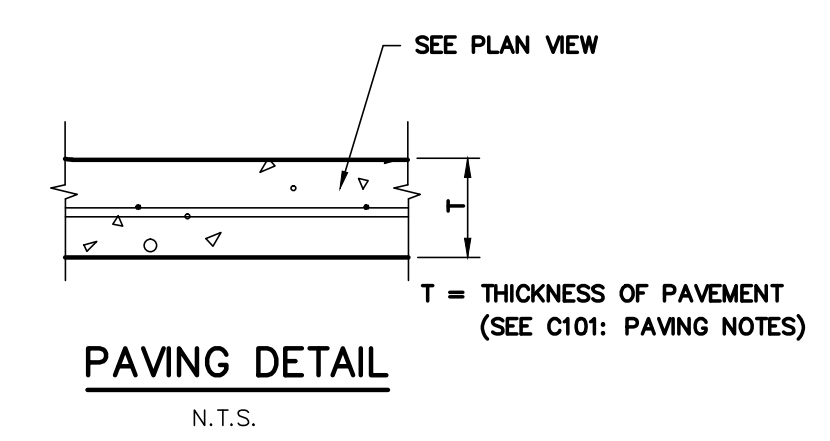
FIRESPRINKLER:
YES
* THERE ARE EXIST. BUILDINGS & TREES ON THIS SITE



LOCATION MAP (NOT TO SCALE)

LEGEND

- = PROPERTY LINE
- - - - - = EXISTING CONTOURS
- 460— = PROPOSED CONTOURS
- = PROPOSED SPOT GRADES
- tc = TOP OF CURB
- ep = EDGE OF PAVEMENT
- tw = TOP OF WALL
- bw = BOTTOM OF WALL
- (ALL SPOT GRADES ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED)
- EX. SS — = EXISTING SANITARY SEWER LINE
- EX. W — = EXISTING WATER LINE
- FH = EXISTING FIRE HYDRANT
- WM = EXISTING WATER METER
- PP = EXISTING POWER POLE
- LP = EXISTING LIGHT POLE
- T = EX. WATER VALVE
- ⊙ = EXISTING SEWER MANHOLE
- ⊙ = EXISTING GAS METER
- B-B = BACK OF CURB TO BACK OF CURB
- EXIST. or EX. = EXISTING
- PROP. = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- ⊙ = PROPOSED FIRE HYDRANT
- ⊙ = EXISTING FIRELANE



INSTALL:
(1) 8"x6" TAPPING SLEEVE
(1) 6" VALVE
FIRE SPRINKLER SYSTEM

INSTALL:
RPZ IN BLDG W/ FIRE DEPT.
CONNECTION ON 4" FIRE LINE

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.

WITNESS OUR HANDS, this _____ day of _____.

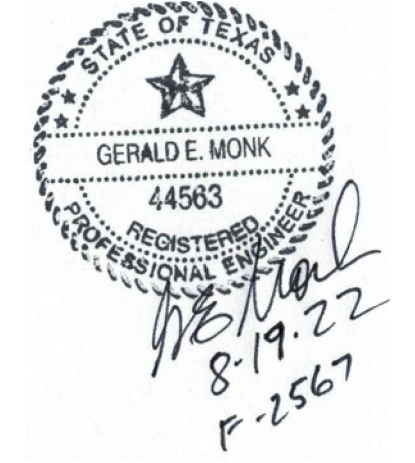
Planning & Zoning Commission, Chairman

Director of Planning and Zoning

**** NOTICE TO CONTRACTORS ****

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. FETTY OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS (P&E), WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



CASE # SP2022-XXX

SITE PLAN

BACON PLUMBING OFFICE PHASE 2

2055 KRISTY LANE
LOT 1-M, BODIN INDUSTRIAL TRACT, 3.54 ACRES
City of Rockwall, Rockwall County, Texas

owner
BACON PROPERTY, LLC
295 Ranch Trail, Rockwall, Texas 75032
Contact: Brad Bacon (972)236-5794

prepared by
MONK CONSULTING ENGINEERS, INC.
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

REG No.: F-2567
©2022 by Monk Consulting Engineers, Inc., All Rights Reserved.

date: 8/19/22 scale: 1" = 30' sheet: C101

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 9/21/2022

PROJECT NUMBER: SP2022-051
PROJECT NAME: Site Plan for S&A Systems
SITE ADDRESS/LOCATIONS: 992 SIDS RD

CASE MANAGER: Henry Lee
CASE MANAGER PHONE: 972.772.6434
CASE MANAGER EMAIL: hlee@rockwall.com

CASE CAPTION: Discuss and consider a request by Terry Lee of A-1 Services on behalf of Don Rakow and Don Sryqley of S & A Systems, Inc. for the approval of an Amended Site Plan for an existing Office/Manufacturing facility on a two (2) acre parcel of land identified as Lot 1, Block 1, Pott Shrigley Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 43 (PD-43) for Commercial (C) District land uses, addressed as 922 Sids Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	09/21/2022	Needs Review

09/21/2022: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for an existing Office/Warehouse facility on a 0.50-acre parcel of land identified as Lot 1, Block A, Bacon Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 2055 Kristy Lane.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2022-051) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC), the Planned Development District 43 (PD-43) Standards, the Commercial (C) District Standards, and the Development Standards of Article 05, that are applicable to the subject property.

M.5 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11)

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, _____.

WITNESS OUR HANDS, this ____ day of _____, _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

M.6 Site Plan:

1. Please provide the following information in a table:

- a. Total lot area in acres and SqFt.
- b. Building footprint.
- c. Lot coverage.
- d. Impervious coverage.
- e. Required parking and provided parking.
2. The distance between the building and the southwest property line. (Subsection 03.04. B, of Article 11)
3. Please indicate the building setback, which is 15-feet. (Subsection 03.04. B, of Article 11)
4. Please indicate any existing and proposed easements. (Subsection 03.04. B, of Article 11)
5. Label the fire lane as "Fire Lane, Public Access, and Utility Easement." (Subsection 03.04. B, of Article 11)
6. Please label the adjacent street and the adjacent property information. (Subsection 03.04. B, of Article 11)
7. Parking spaces adjacent to the building shall be 20x9 and the others may be 18x9. (Engineering Standards of Design and Construction)
8. Please indicate any existing and proposed fencing. (Subsection 03.04. B, of Article 11)
9. Indicate any ground mounted utility equipment and the subsequent screening. (Subsection 01.05. C, of Article 05)
10. Indicate any roof mounted utility equipment and crosshatch it on the building elevations. (Subsection 01.05. C, of Article 05)
11. There shall be no outside storage. (Article 04)
12. Trash/Recycling enclosures shall be four (4) sided. These receptacles shall be screened by a minimum six (6) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. The minimum enclosure area shall be 12'x10'. A minimum of 6" bollards will be required at potential impact zones and the pad site shall be paved to city standards. Five (5) gallon shrubs must also be planted around the enclosure.

M.7 Landscape Plan

1. The comments within this section shall be incorporated on the site plan (i.e. a landscape plan will not need to be drafted).
2. There shall be one (1) canopy and one (1) accent tree per 50-linear feet of frontage on Sids Road. In this case there needs to be five (5) canopy and five (5) accents trees along Sids Road. The existing canopy trees can be used towards the five (5) canopy trees. (05.03, of Article 08)
3. Please indicate the ten (10) landscape buffer along Sids Road. (05.03, of Article 08)
4. All parking spaces shall be within 80-feet of a canopy tree. In this case, move the proposed canopy trees along the northeast property line closer to the parking spaces. (05.03, of Article 08)
5. Provide a note indicating that the irrigation will meet the requirements of the UDC. (05.03, of Article 08)
6. Please provide a Treescape Table that indicates the trees being removed; it must include the species and size of the trees. Any trees being removed must be mitigated for on site. To mitigate for removed trees new trees will need to be planted on site or they must be paid for at \$100.00 a caliper inch. (05.03, of Article 08)

M.8 Building Elevations:

1. The wall length exceeds three (3) times the height of the building. (Subsection 05.01, of Article 05)
2. Please crosshatch the roof mounted utility equipment. (Subsection 01.05. C, of Article 05)
3. The minimum roof pitch for a structure in a Commercial (C) District is 6:12. In this case, your roof pitch is 1:12 to match the existing; this will require an exception.

M.9 If any lighting fixtures are being replaced or any new exterior lighting is being added on site, a photometric plan must be provided. (Subsection 03.04 of Article 11)

I.10 Staff has identified the following exceptions associated with the proposed request: [1] secondary façade articulation, and [2] roof pitch. Should you decide to request these items as exceptions, please provide a letter that lists the exceptions, why they are being requested, and the subsequent compensatory measures. For each exception requested you must provide two (2) compensatory measures (Subsection 09.01, of Article 11). Examples of compensatory measures include the increased use of masonry material or stone, increased articulation, increased architectural elements, more pedestrian amenity, etc.

I.11 Please note that failure to address all comments provided by staff by 3:00 PM on October 4, 2022 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.12 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on October 4, 2022; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the October 11, 2022 Planning & Zoning Meeting.

I.13 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on September 27, 2022.
- 2) Planning & Zoning meeting/public hearing meeting will be held on October 11, 2022.

I.14 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	09/21/2022	Needs Review

- 09/21/2022: - Will you need an additional water meter?
- Fire department may need an additional hydrant to get proper coverage.
- What is this line near the new water line?
- Must have a fire department approved turnaround.
- Where is the detention area?
- FYI sewer line has not been extended yet.

The following items are informational for the engineering design process.

General Items:

- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements. No structures allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls 18" and taller must be rock or stone face. No smooth concrete walls.
- Must use updated notes

Roadway Paving Items:

- Parking to be 20x9' minimum.
- No dead-end parking allowed without City approved turnaround
- Drive isles to be 24' wide.
- Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- Fire lane to be in a platted easement. - Street cost for shared portion of roadway to be paid.
- Either build 24' of Sids or escrow.

Water and Wastewater Items:

- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Must have an oil/water separator for the dumpster drainage and must connect to the storm lines.
- Fire hydrants to have 5' clearance around them.
- Will likely need a new fire hydrant to get proper coverage.
- Update on Srygly Sewer line?
- Sewer pro-rata of \$401.89/acre

Drainage Items:

- Detention is required for new impervious surfaces.
- No walls in detention.
- Maximum slope is 4:1

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	09/20/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	09/20/2022	Needs Review

09/20/2022: The site plan does not indicate fire lane, fire hydrant, or fire department connection (FDC) locations. Please review and resubmit.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	09/19/2022	Approved

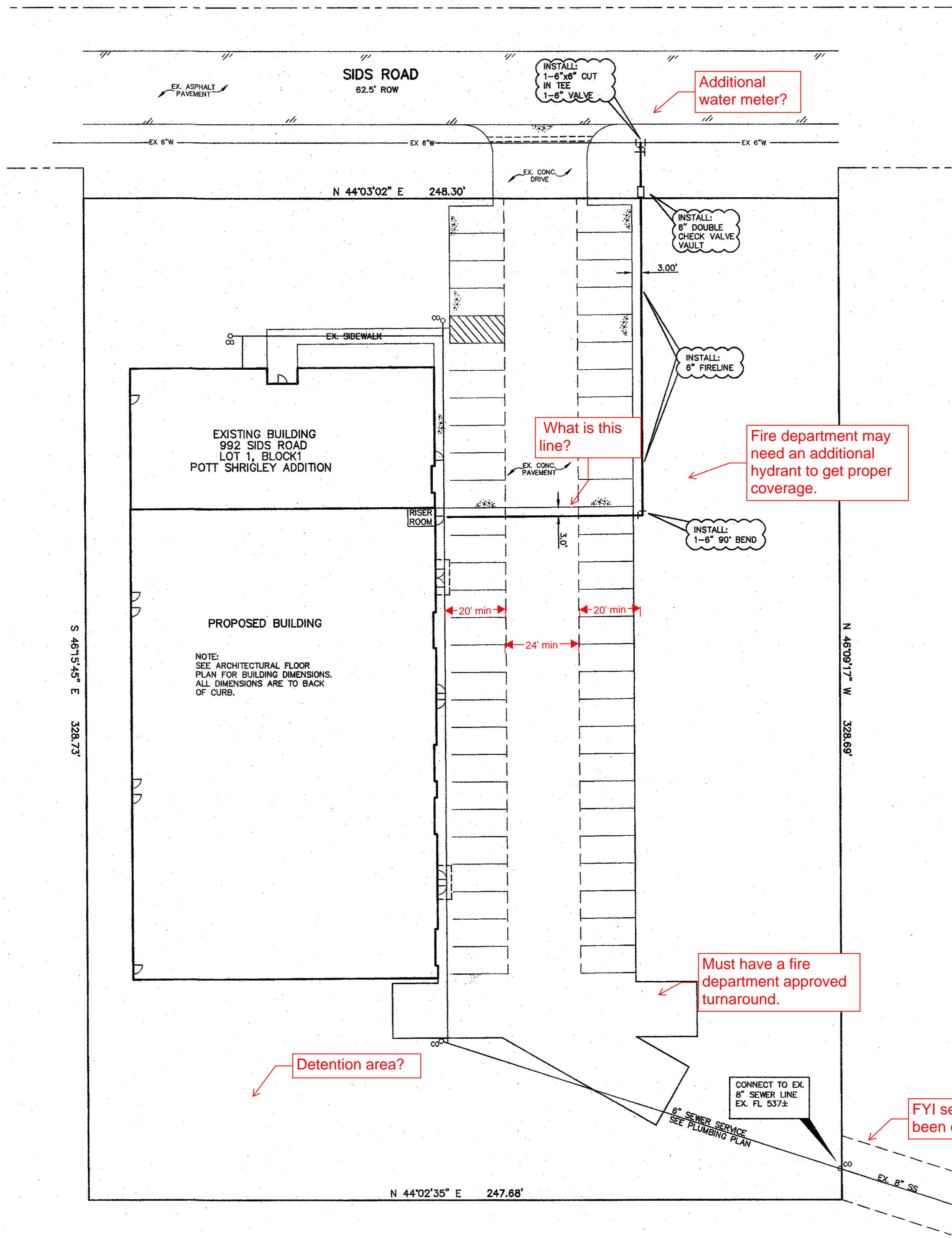
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	09/19/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	09/19/2022	Approved w/ Comments

09/19/2022: Please provide a landscape plan for this project



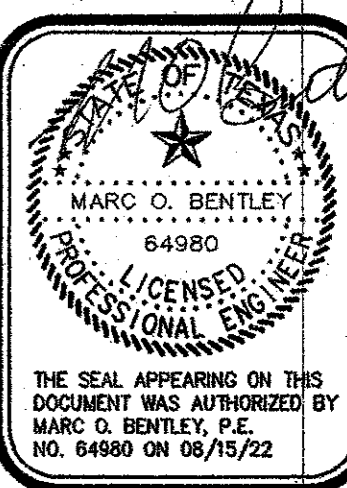
GENERAL NOTES

1. All work shall be in accordance with the 3rd Edition of the City Standards of Design and Construction.
2. Two year maintenance contract for the fireline.
3. Engineering design shall be in accordance with the City Standards of Design and Construction.
4. All water lines shall be installed in accordance with the City Standards of Design and Construction.
5. Water mains shall be installed in accordance with the City Standards of Design and Construction.
6. Fire hydrants shall be installed in accordance with the City Standards of Design and Construction.
7. Manhole rings shall be installed in accordance with the City Standards of Design and Construction.
8. Contractor shall be responsible for the deflection of the fireline.
9. Valves shall be installed in accordance with the City Standards of Design and Construction.
10. Trench excavations shall be in accordance with the provisions of Occupational Safety and Health (OSHA) 29 CFR 1926.650 Trench Safety.
11. The locations of the fire hydrants shall be shown on the final construction records. The contractor shall be responsible for the additional fire hydrants.
12. It shall be the responsibility of the contractor to ensure that the construction shall be in accordance with the City Standards of Design and Construction.
13. All reinforced concrete shall be in accordance with the City Standards of Design and Construction.
14. Megalugs at all manholes shall be in accordance with the City Standards of Design and Construction.
15. Blue EMS location shall be in accordance with the City Standards of Design and Construction.
16. Fire hydrants shall be installed in accordance with the City Standards of Design and Construction.
17. Water and Sewer Contractor shall be responsible for the service line to the main and back to the building.
18. Green EMS location shall be in accordance with the City Standards of Design and Construction.

- General Items:**
- Must meet City Standards of Design and Construction
 - 4% Engineering Inspection Fees
 - Impact Fees (Water, Wastewater & Roadway)
 - Minimum easement width is 20' for new easements. No structures allowed in easements.
 - Retaining walls 3' and over must be engineered.
 - All retaining walls 18" and taller must be rock or stone face. No smooth concrete walls.
 - Must use updated notes
- Roadway Paving Items:**
- Parking to be 20x9' minimum.
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 - Drive isles to be 24' wide.
 - Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
 - Fire lane to be in a platted easement.
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 - Must have an oil/water separator for the dumpster drainage and must connect to the storm lines.
 - Fire hydrants to have 5' clearance around them.
 - Will likely need a new fire hydrant to get proper coverage.
 - Update on Srygly Sewer line?
 - Sewer pro-rata of \$401.89/acre
- Drainage Items:**
- Detention is required for new impervious surfaces.
 - No walls in detention.
 - Maximum slope is 4:1
- Landscaping:**
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
 - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

Z:\Projects\2022\202205_Rockwa1\basel1.dwg Sun Aug 14 10:59:07 2022

Marc Bentley, PE
 CIVIL ENGINEER
 1855 EMERALD BAY
 ROCKWALL, TEXAS 75087
 PH: 214-957-1406



WATER/SEWER PLAN
 S & A SYSTEMS, INC
 CITY OF ROCKWALL, TEXAS

No.	Date	Revision

Scale: 1"=20'
 File Name: BASESITE
 Date: AUG 2022
 Project No.: 2022105

Sheet **C1**

CALL BEFORE YOU DIG

RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

FOR ADEQUACY OF THE DESIGN ENGINEER, IN REVIEWING AND



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 922 Sios Rd.
 SUBDIVISION POTT SHRIGLEY ADDITION LOT 1 BLOCK 1
 GENERAL LOCATION Sios & Goliad Rd.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-43 CURRENT USE Light Assyly & FABRICATION
 PROPOSED ZONING PD-43 PROPOSED USE Light Assyly & FABRICATION
 ACREAGE 2.0 LOTS [CURRENT] LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	<u>S & A Systems, Inc.</u>	<input checked="" type="checkbox"/> APPLICANT	<u>A-1 SERVICES</u>
CONTACT PERSON	<u>DON RAKOW/DON SHRIGLEY</u>	CONTACT PERSON	<u>TERRY LEE</u>
ADDRESS	<u>922 Sios Rd.</u>	ADDRESS	<u>1623 S. PEACHTREE ROAD</u>
CITY, STATE & ZIP	<u>Rockwall, Tx. 75082</u>	CITY, STATE & ZIP	<u>Balch Springs, Tx. 75180</u>
PHONE	<u>972-722-1009</u>	PHONE	<u>817-771-3993</u>
E-MAIL	<u>DON.RAKOW@FLEETWATCH.COM</u>	E-MAIL	<u>TERRY@PELTONDNC.COM</u>

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED J.G. Shrigley [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

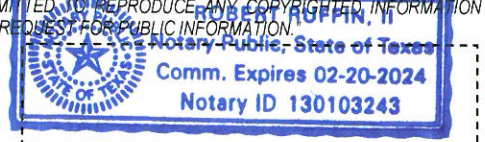
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 16 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16 DAY OF SEPTEMBER, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (THE "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16 DAY OF September, 20 22

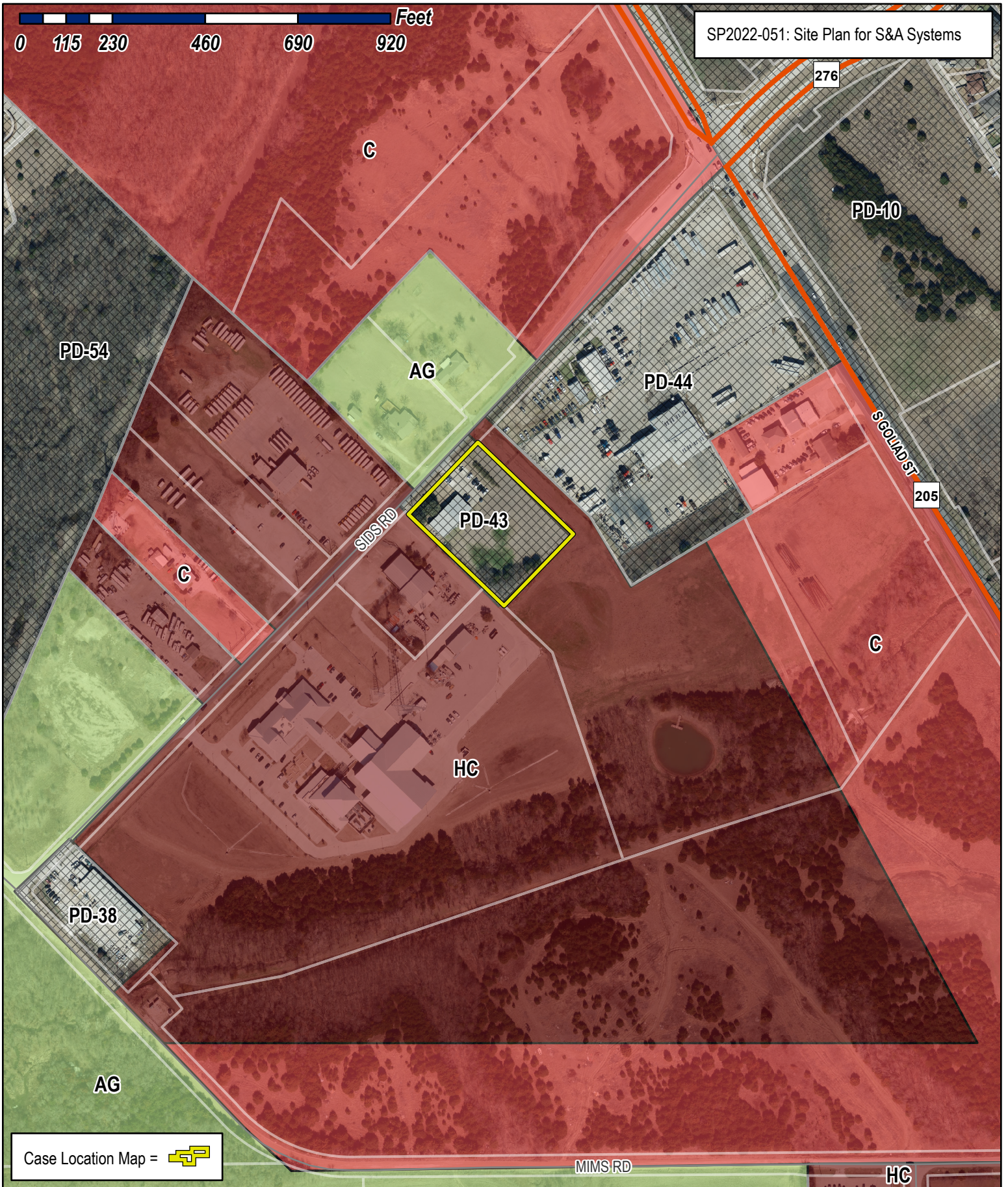
OWNER'S SIGNATURE


J.G. Shrigley

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 02/20/2024



Case Location Map = 

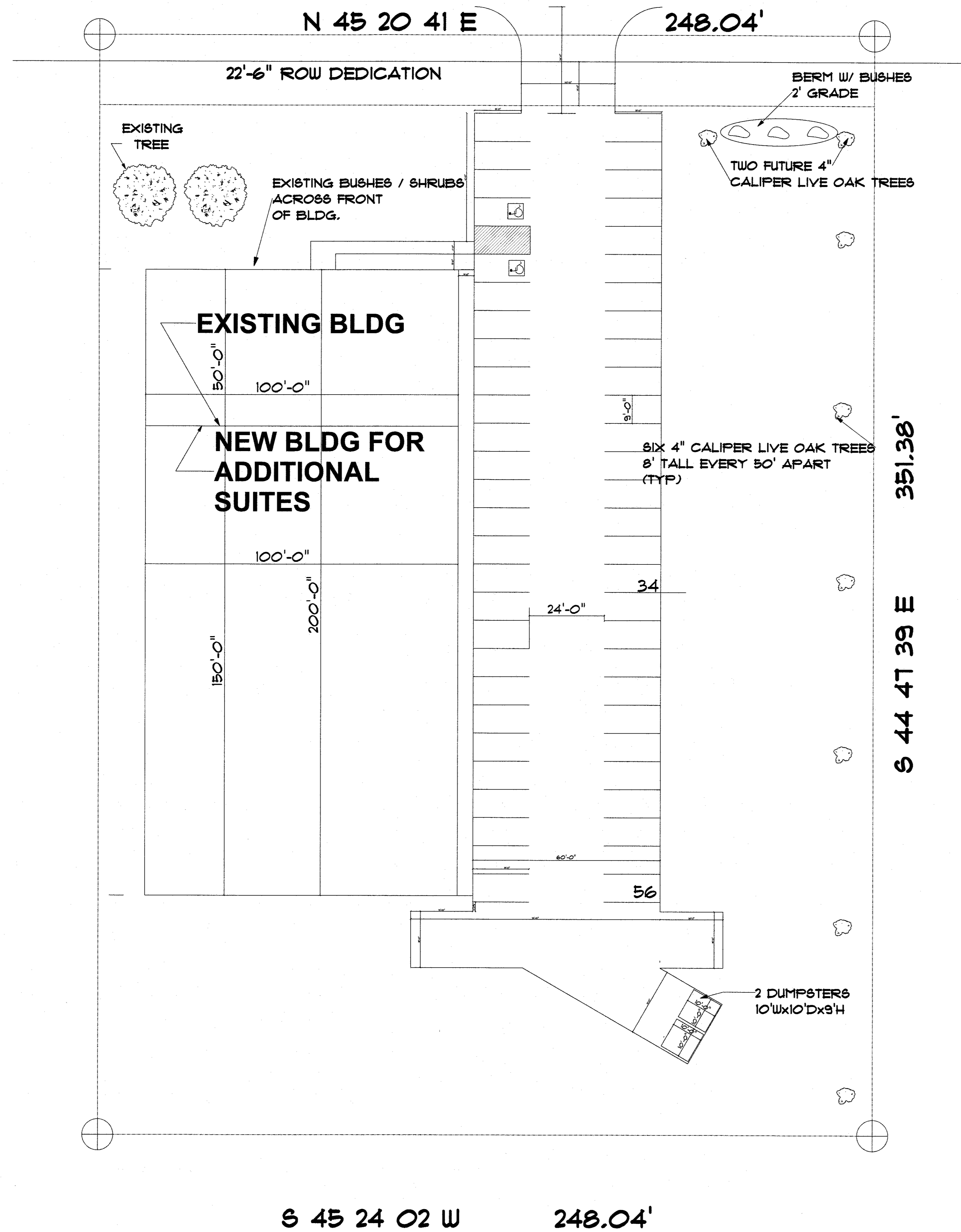


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





SITENEW
SCALE: 0.0547" = 1'-0"

S&A SYSTEMS, INC.
992 Side Rd.
Rockwall
Texas
75082
PHONE: 972-722-1009
FAX:
MOBILE:

D Designs
CUSTOM HOME DESIGNS

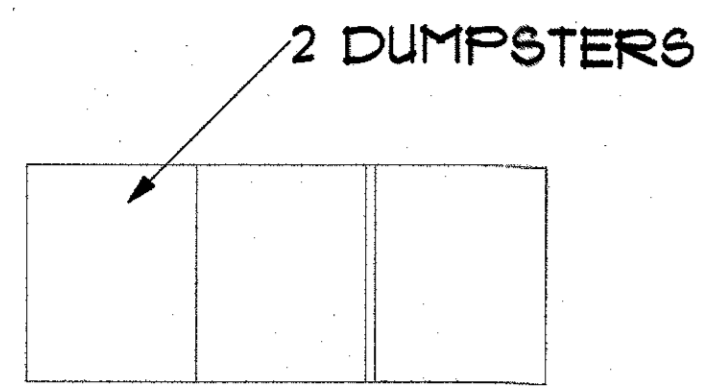
PHONE: 800-501-9299
FAX:
MOBILE:

SCALE: 0.0547" = 1'-0"
DRAWN BY: Dan Daugherty
DATE: Monday, September 12, 2022

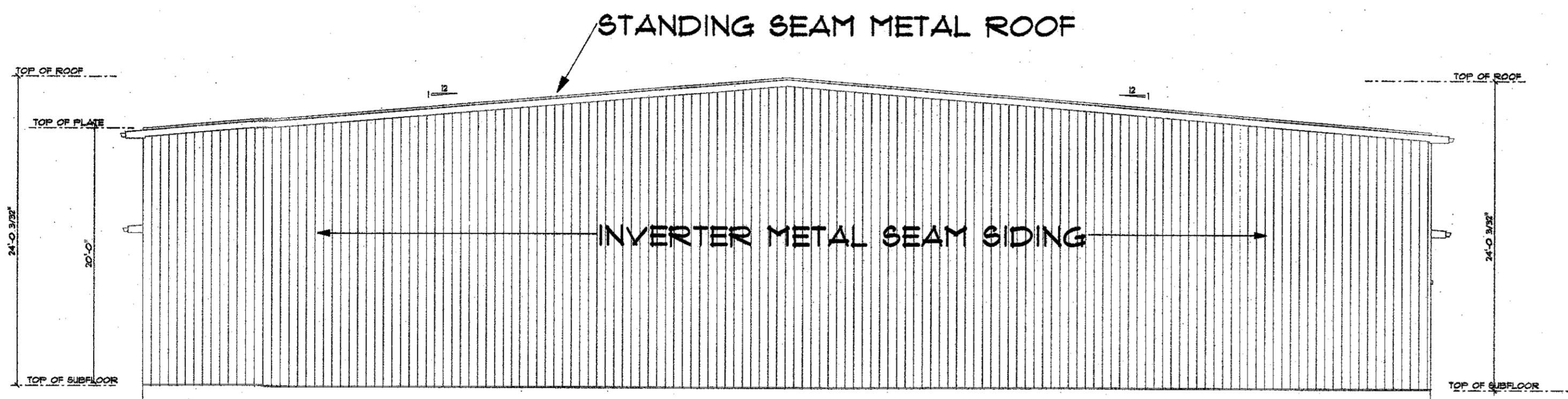
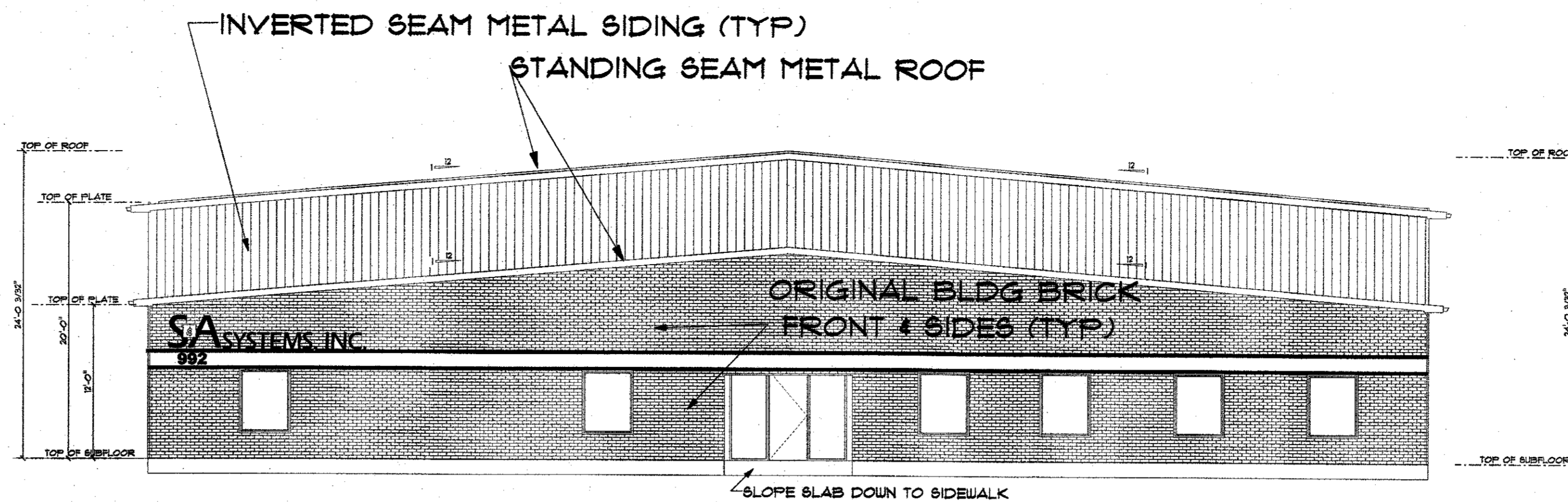
SECTION LETTER
A
PAGE NUMBERS
11

APPROVED:
CHECKED BY:

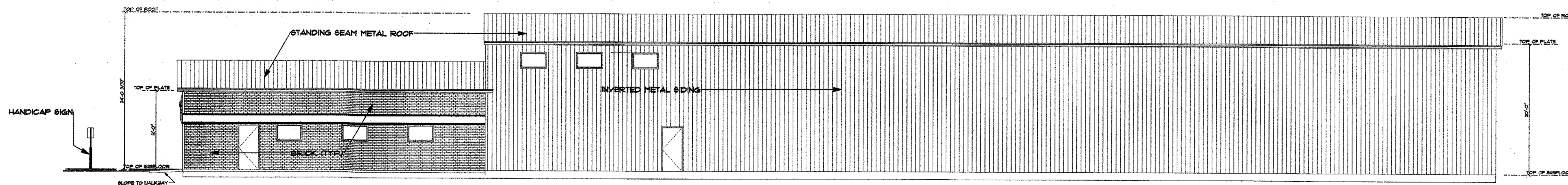
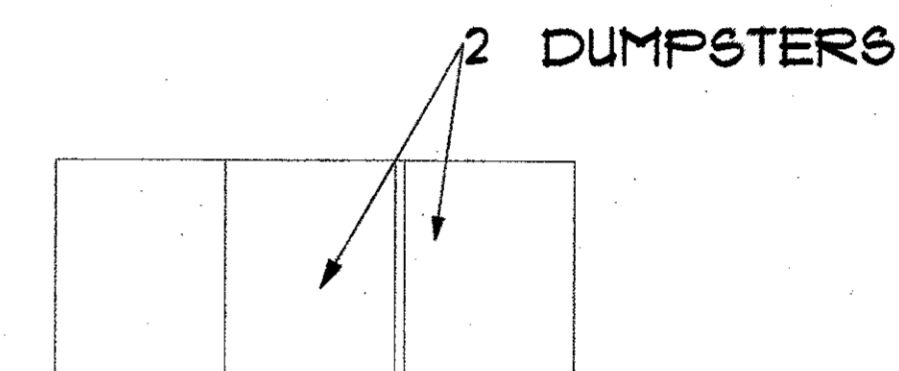
PAGE: **4/5**
SITE PLAN new



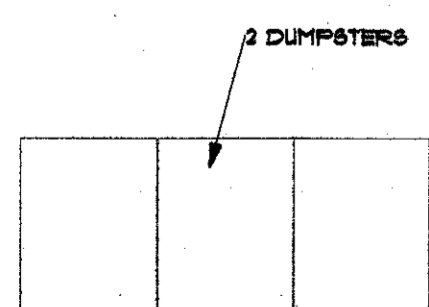
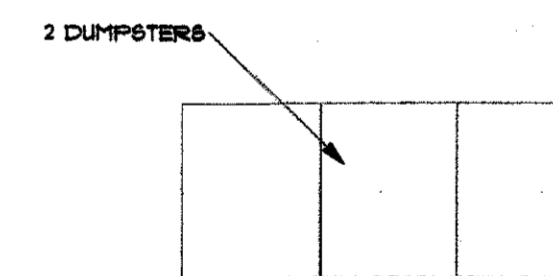
FRONT ELEVATION
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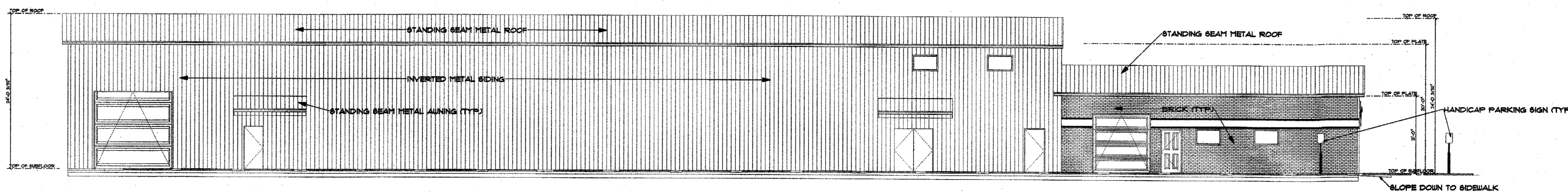
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SCALE: 1/8" = 1'-0"



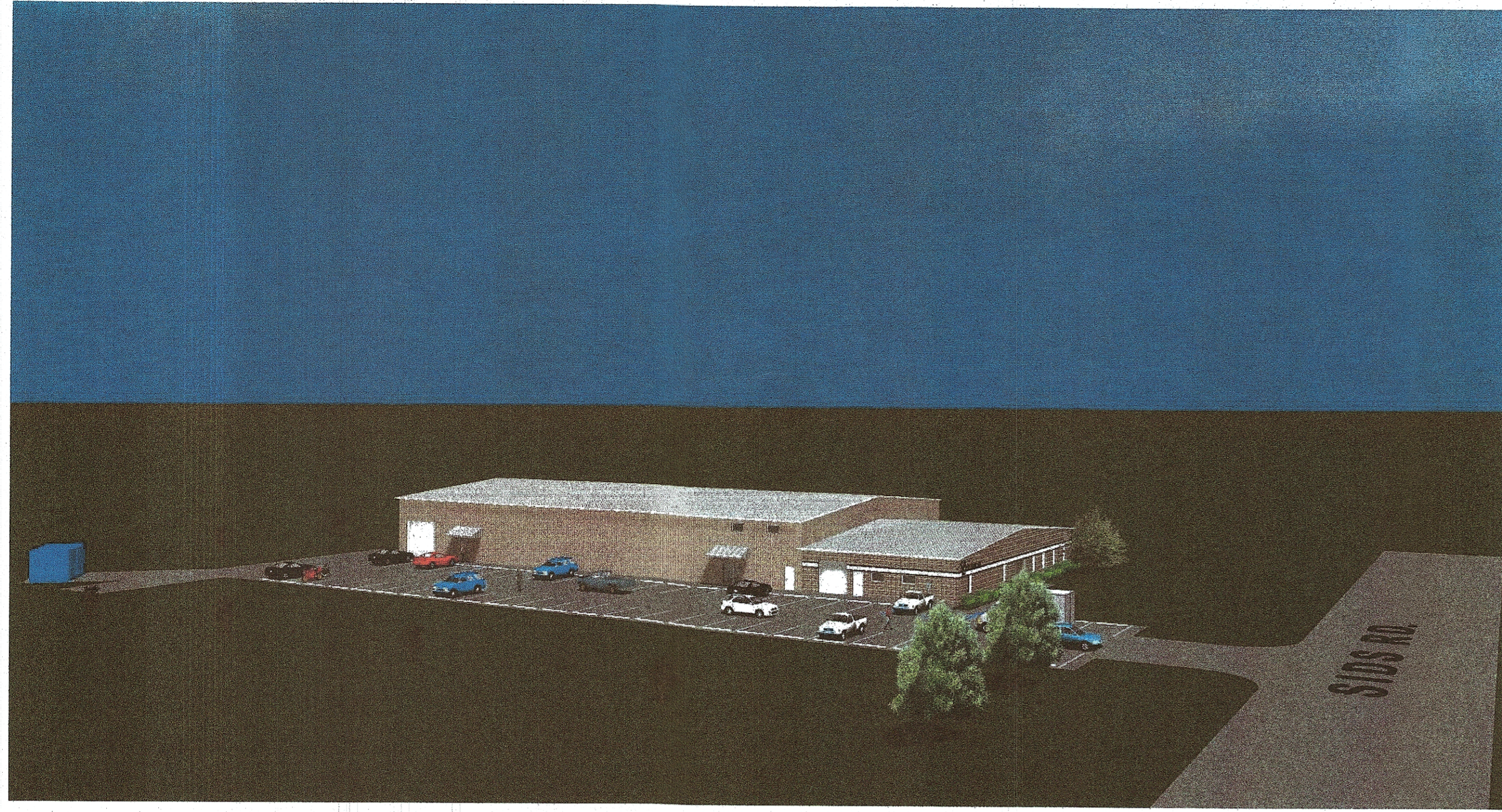
RIGHT ELEVATION
SCALE: 1" = 10'-0"



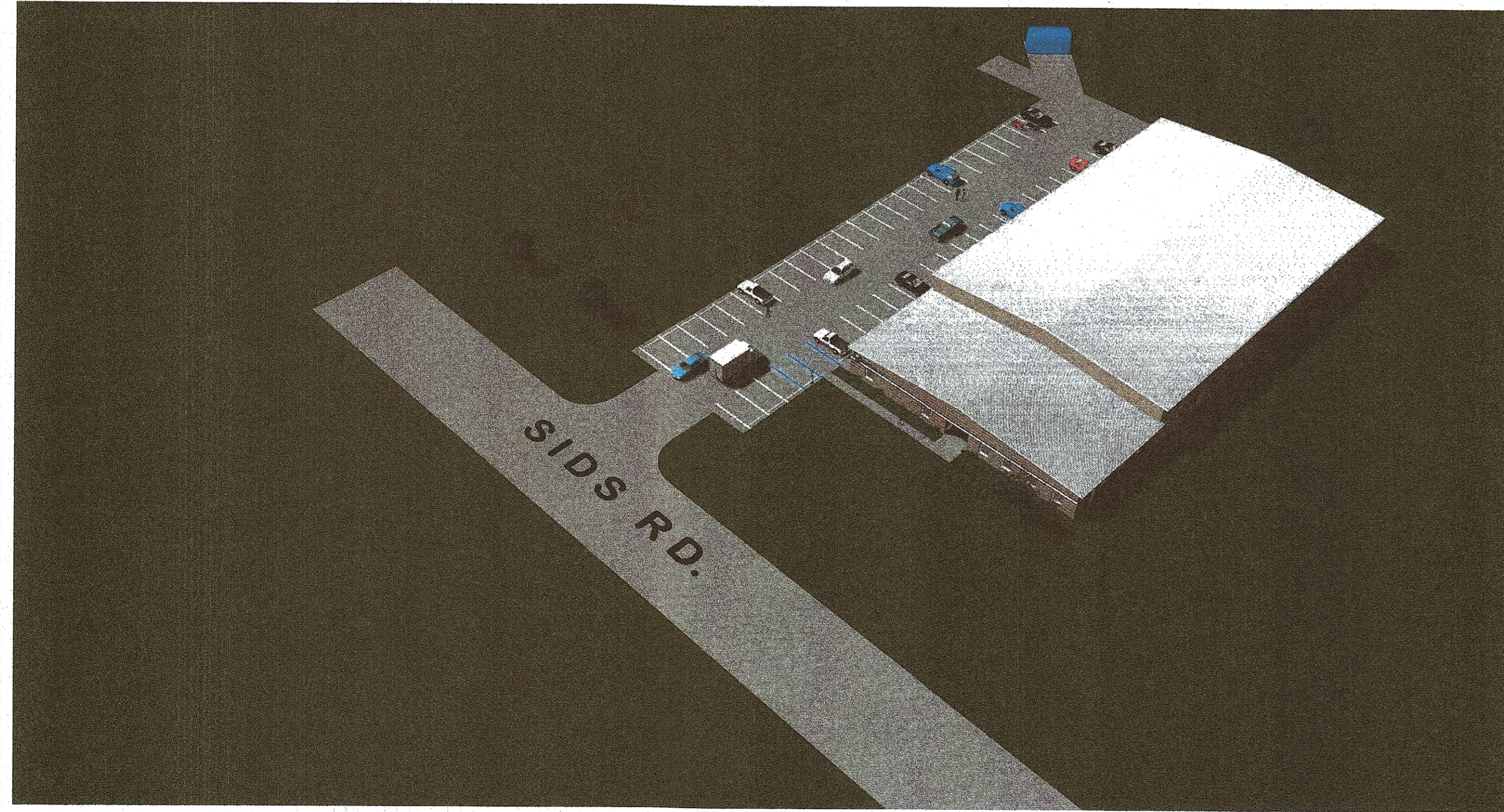
LEFT ELEVATION
SCALE: 1" = 10'-0"



INITIAL BUILD VIEWS



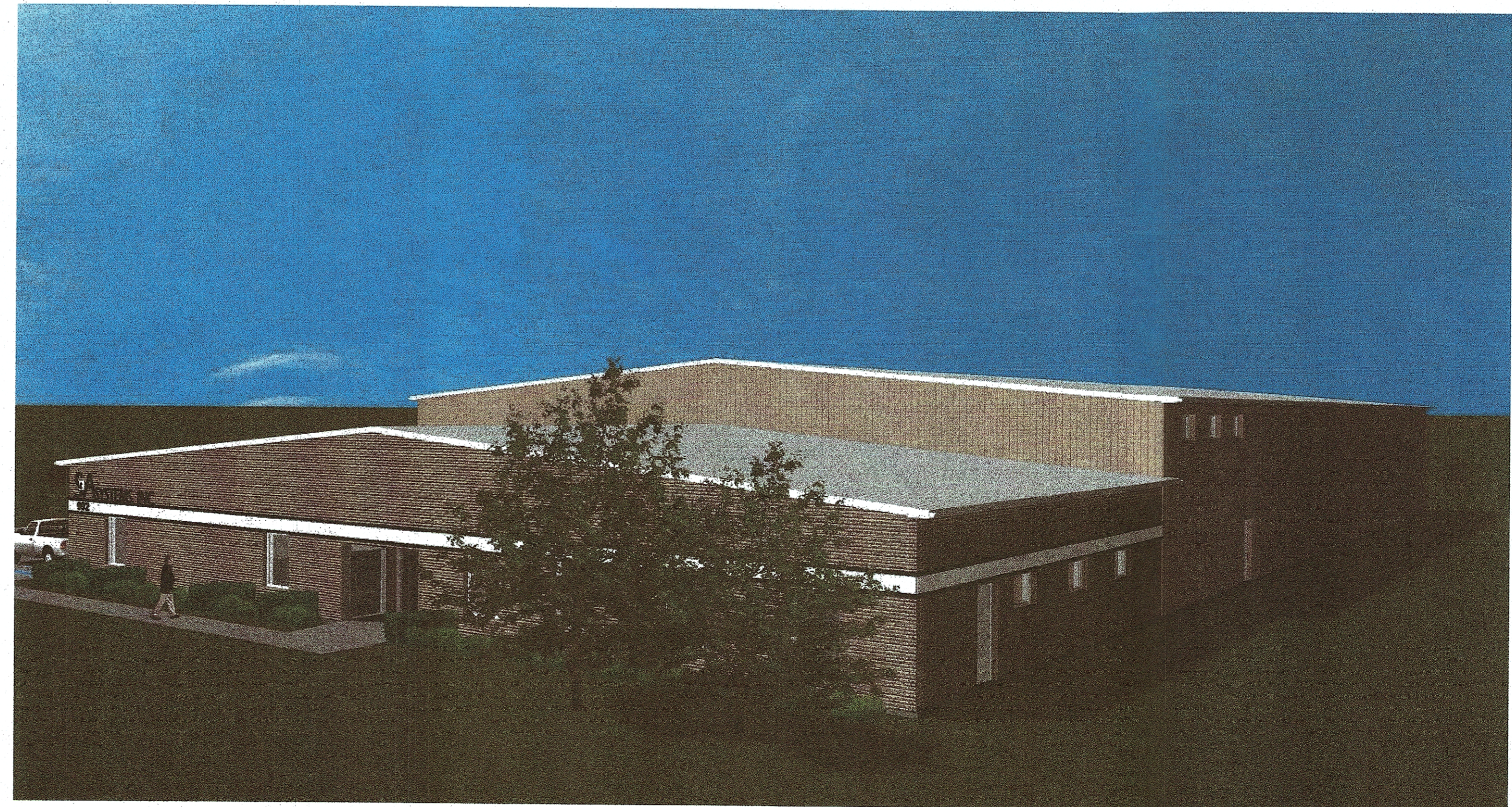
A



B



C



D

S&A SYSTEMS, INC.
992 Side Rd.
Rockwall
Texas
75082

PHONE: 972-722-1009
FAX:
MOBILE:

D Designs
CUSTOM HOME DESIGNS

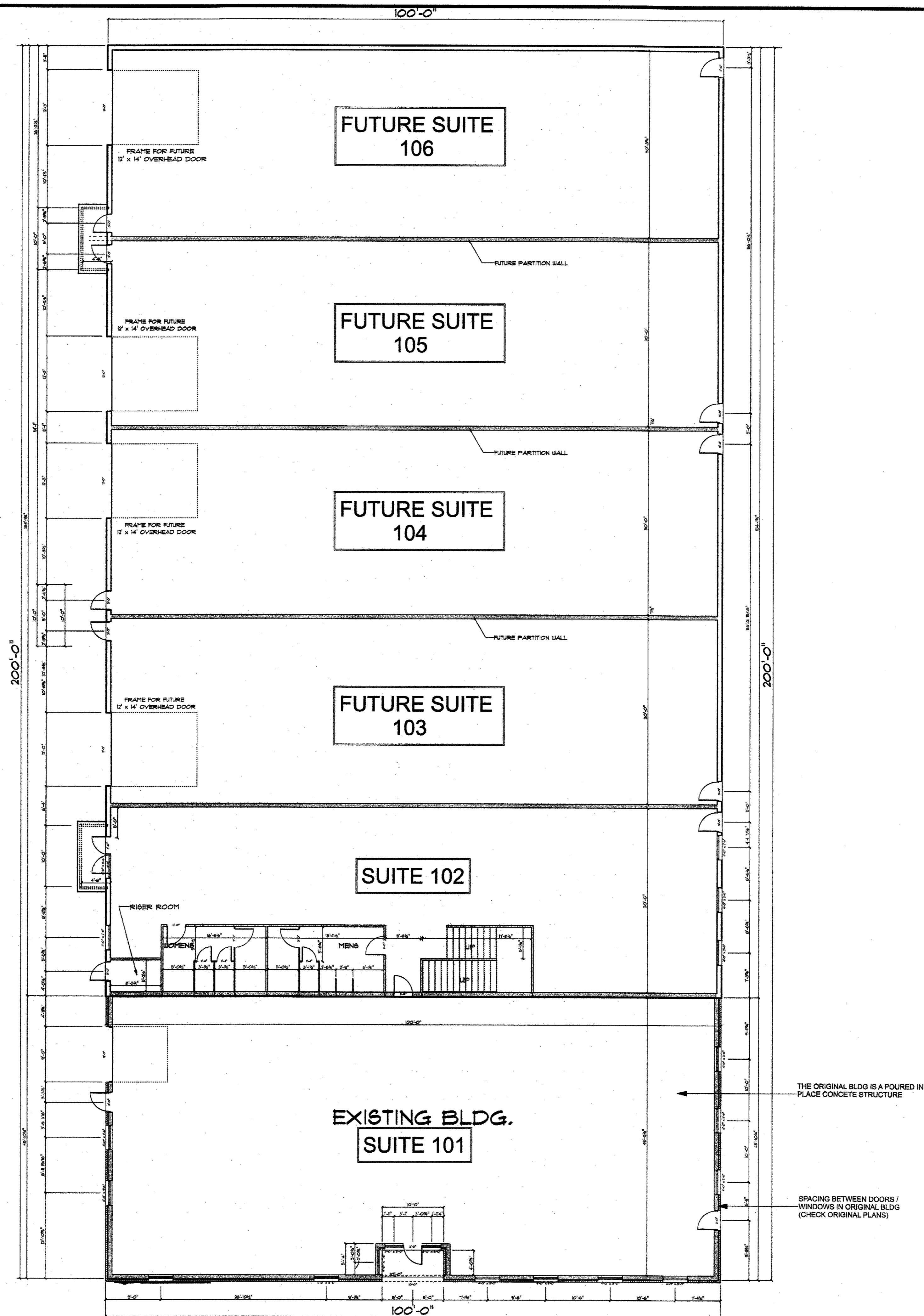
PHONE: 908-821-8298
FAX:
MOBILE:

SCALE: As Noted
DRAWN BY: Dan Daugherty
DATE: Wednesday, July 27, 2022

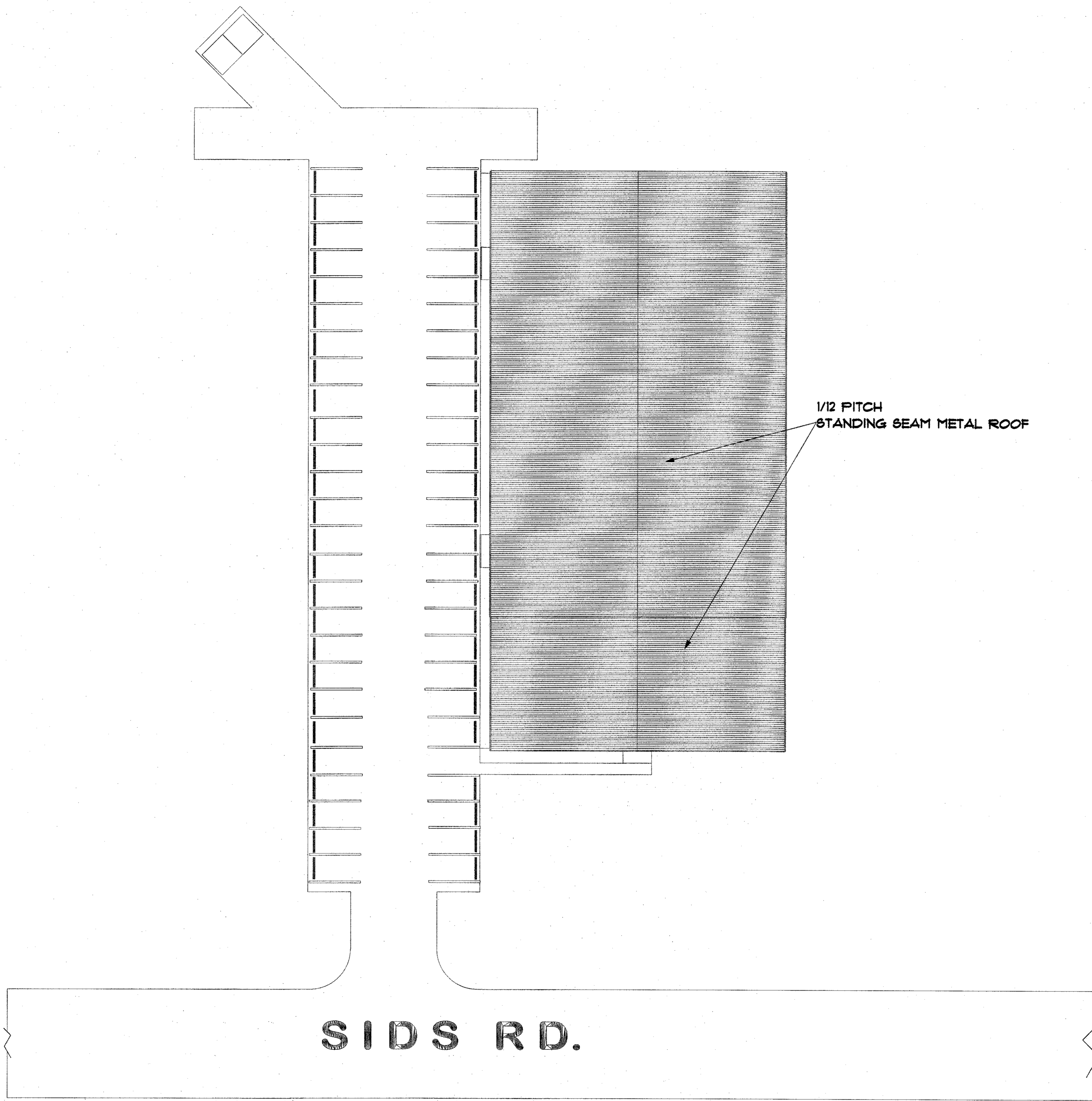
SECTION LETTER
A
PAGE NUMBERS
11

APPROVED: Dan Daugherty
CHECKED BY:

PAGE: 5/5
PERSPECTIVE

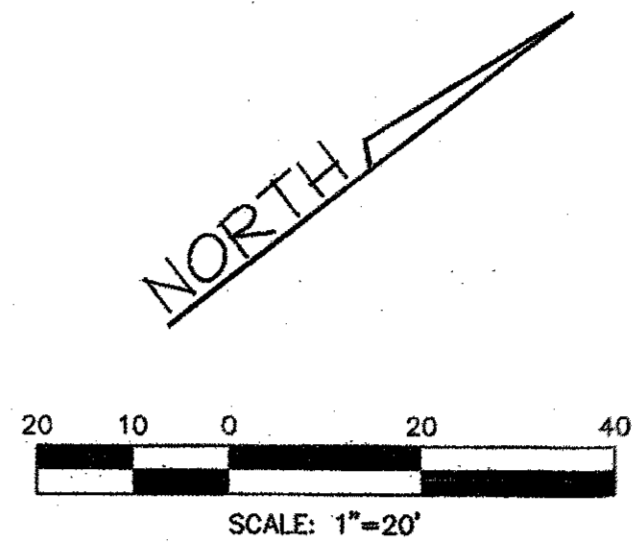
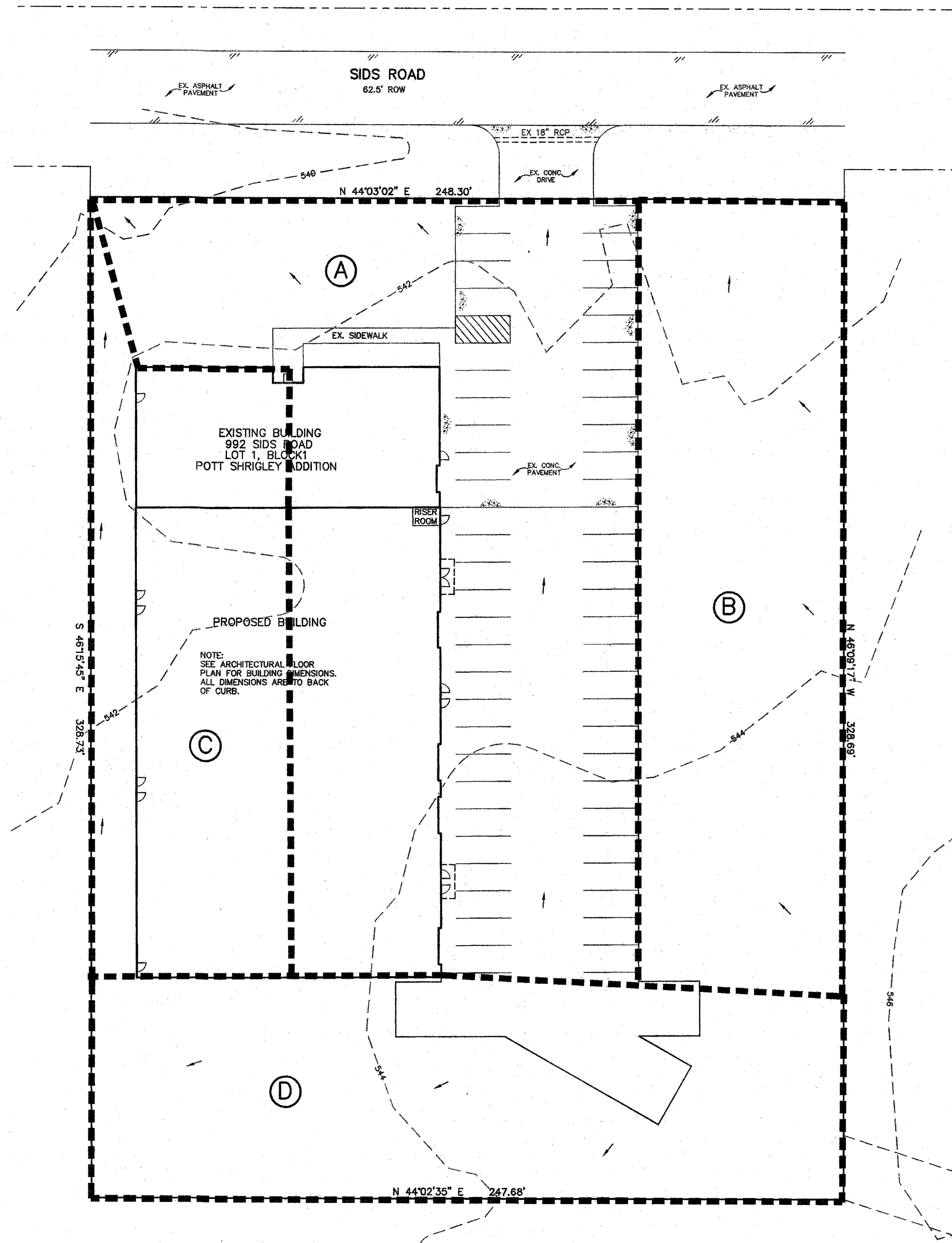


MAIN FLOOR
SCALE: 0.1018" = 1'-0"



TOP ELEVATION
SCALE: 1" = 20'-0"

Z:\projects\2022\2022105 Rockwell\basesite.dwg Sat Aug 20 15:31:41 2022

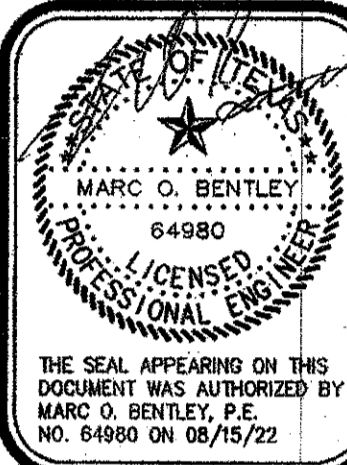


STORM WATER RUNOFF CALCULATIONS

AREA NO.	ACRES	TC (min)	"c"	"I ₁₀₀ " (IN./HR.)	"Q ₁₀₀ " (cfs)	DISCHARGE TO
A	0.77	10	0.9	9.8	6.8	SIDS ROAD
B*	0.40	10	0.9	9.8	3.5	SIDS ROAD
C	0.31	10	0.9	9.8	2.7	SIDS ROAD
D*	0.39	10	0.9	9.8	3.4	ADJACENT PROPERTY

* - INDICATES AREAS TO REMAIN GRASS AND UNDEVELOPED

Marc Bentley, PE
CIVIL ENGINEER
1655 EMERALD BAY
ROCKWALL, TEXAS 75087
PH: 214-957-1106



DRAINAGE AREA MAP
S & A SYSTEMS, INC
CITY OF ROCKWALL, TEXAS

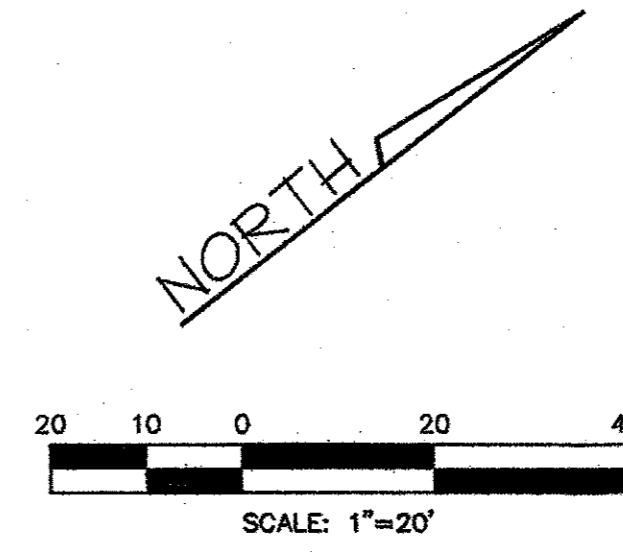
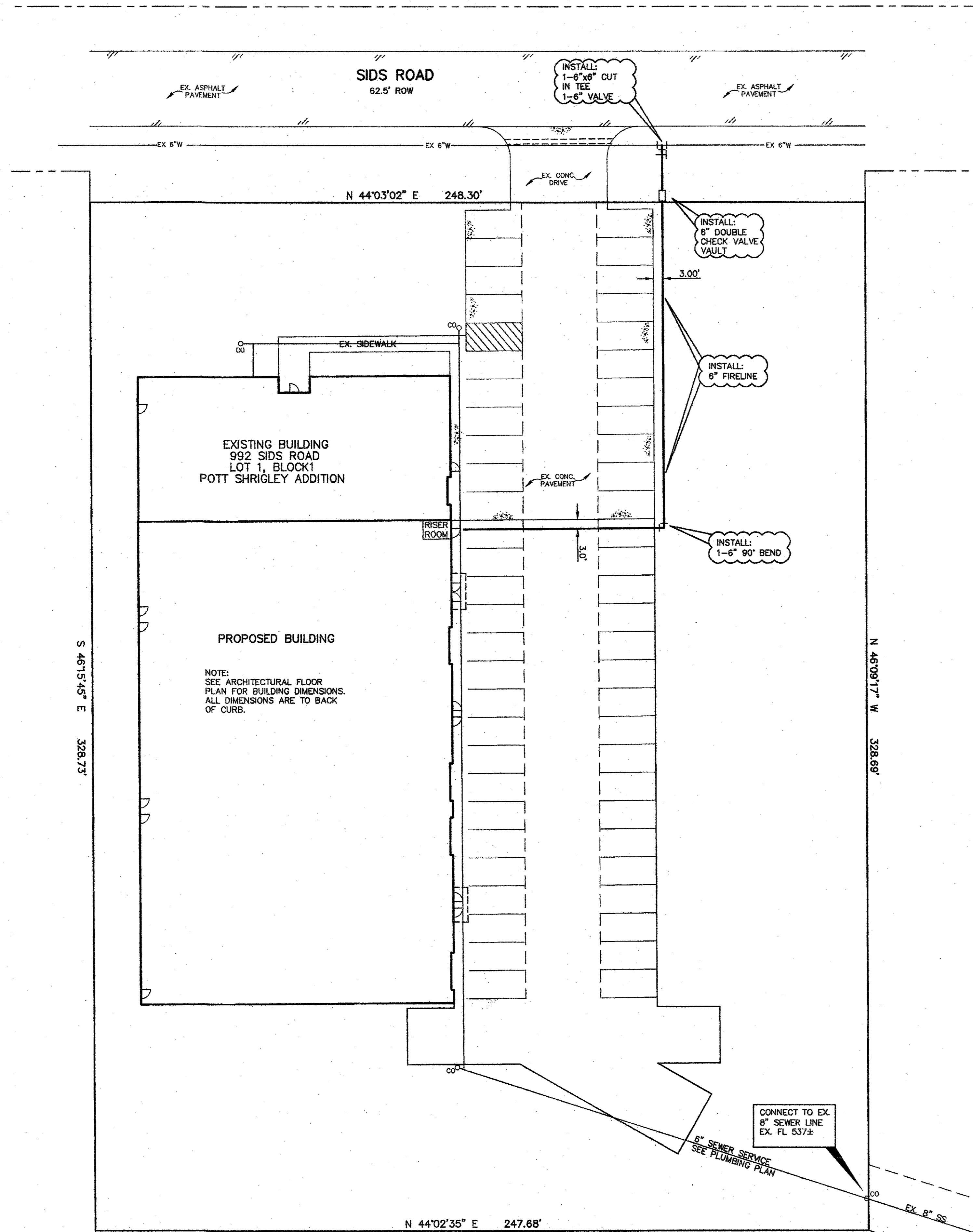
No.	Date	Revision

Scale: 1"=20'
File Name: BASESITE
Date: AUG 2022
Project No.: 2022105

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

Sheet **C3**

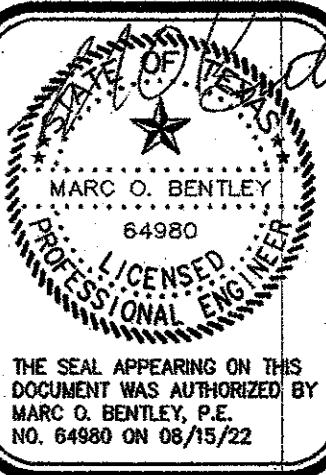
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GENERAL NOTES

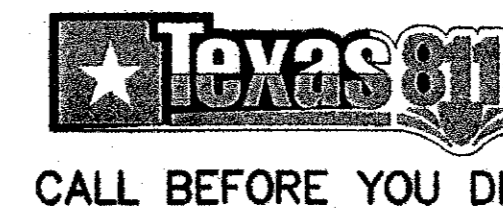
1. All work shall be in accordance with these plans, City of Rockwall Standards and NCTCOG 3rd Edition.
2. Two year maintenance bonds on water and sewer to be furnished by the contractor.
3. Engineering department is to be notified 48 hours prior to any construction.
4. All water lines to have 42 inch minimum cover or as required to clear other utilities.
5. Water mains shall be Class 200 PVC, DR-14, sizes 4" to 15".
6. Fire hydrants shall be Mueller No. 24015 or equal.
7. Manhole rings and covers shall be 400# or bolt on.
8. Contractor shall use PVC SDR 26 Sewer pipe. PVC pipe shall have a maximum deflection of 5% (as per City of Rockwall Specifications.)
9. Valves shall be resilient seat gate valves.
10. Trench excavation for trenches 5 feet or more in depth shall be in accordance with all provisions of Part 1926, Subpart P - Excavations, Trenching and shoring of the Occupational Safety and Health's Standards and Interpretations. It shall be the responsibility of the Contractor to conform to the above stated provisions and to supply Trench Safety Plans if required by the City.
11. The locations of all utilities indicated on the plans are taken from available public records. The exact location and depth of all utilities indicated must be determined by the Contractor. It shall be the duty of the Contractor to ascertain whether any additional facilities other than those shown on the plans may be present.
12. It shall be the responsibility of the Contractor to protect all existing utilities in the construction of this project. Any utilities damaged during the construction of this project shall be repaired at the Contractor's expense.
13. All Reinforced Concrete Pipe shall be Class III.
14. Megalugs at all change in direction
15. Blue EMS locator pads to be installed on the waterline at every bend, service, and valve.
16. Fire hydrants shall have 5' clearance around, and min 3' from back of curb.
17. Water and Sanitary Sewer service lines indicated on this plan are schematic in nature. Contractor / Plumber shall verify location of utilities exiting building prior to installation of service line from meter or main line.
18. Green EMS locator pad shall be installed on sewer line where the service connects to main and at double cleanout.

Marc Bentley, PE
 CIVIL ENGINEER
 1855 EMERALD BAY
 ROCKWALL, TEXAS 75087
 PH: 214-957-1406



WATER/SEWER PLAN
 S & A SYSTEMS, INC
 CITY OF ROCKWALL, TEXAS

No.	Date	Revision



ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

Scale: 1"=20'
 File Name: BASESITE
 Date: AUG 2022
 Project No.: 2022105

Sheet
C1

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 9/22/2022

PROJECT NUMBER: SP2022-052
PROJECT NAME: Amended Site Plan for Everybody Massage
SITE ADDRESS/LOCATIONS: 2001 RIDGE RD

CASE MANAGER: Bethany Ross
CASE MANAGER PHONE: (972) 772-6488
CASE MANAGER EMAIL: bross@rockwall.com

CASE CAPTION: Discuss and consider a request by Jeff Carroll of Jeff Carroll Architects on behalf of Susan Gamez of Everybody Massage for the approval of an Amended Site Plan for an existing Massage Therapist facility on a 0.48-acre tract of land identified as Lot 1, Block A, Everybody Massage Addition, City of Rockwall, Rockwall County, Texas, zoned Residential Office (RO) District, addressed as 2001 Ridge Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	09/21/2022	Needs Review
09/21/2022: - Detention was previously calculated for the paving area. Detention for the building expansion will be required. - Is the existing gravel/asphalt drive going to be removed? - 24x15' turnaround must be striped as no parking.			
BUILDING	Rusty McDowell	09/20/2022	Approved
No Comments			
FIRE	Ariana Kistner	09/20/2022	Needs Review
09/20/2022: The site plan does not indicate fire lane or fire hydrant locations. Please review and resubmit.			
GIS	Lance Singleton	09/19/2022	Approved
No Comments			
POLICE	Chris Cleveland	09/19/2022	Approved
No Comments			
PARKS	Travis Sales	09/19/2022	Approved
No Comments			
PLANNING	Bethany Ross	09/22/2022	Approved w/ Comments

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Jeff Carroll of Jeff Carroll Architects on behalf of Susan Gamez of Everybody Massage for the approval of an Amended Site Plan for an existing Massage Therapist facility on a 0.48-acre tract of land identified as Lot 1, Block A, Everybody Massage Addition, City of Rockwall, Rockwall County, Texas, zoned Residential Office (RO) District, addressed as 2001 Ridge Road.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com. October 4, 2022 is the deadline to have all comments; please provide staff revised plans before October 4, 2022 to ensure all comments are addressed.

M.3 For reference, include the case number (SP2022-052) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02. D, Article 11, UDC)

M.4 Provide a numeric and graphic scale for reference on every page of each plan. (Subsection 03.04.A, of Article 11)

M.5 Provide all specifications and descriptions of each proposed building materials and please provide a physical material sample board that meets the City's submittal requirements before the September 27, 2022 Architecture Review Board meeting. (Subsection 04.01 of Article 5)

M.6 Site Plan

- (1) Indicate the distance between all property lines and existing and planned buildings located on the site. (Subsection 03.04.B, of Article 11)
- (2) Indicate all building setbacks adjacent to the Right-of-Way. (Subsection 03.04. B, of Article 11)
- (3) Indicate all utilities both existing and proposed. (Subsection 03.04.B, of Article 11)
- (4) Indicate all drive/turning radii. (Subsection 03.04.B, Article 11)
- (5) Indicate all drive widths. (Subsection 03.04.B, of Article 11)
- (6) Indicate the type and depth of the paving material and provide a detail or cutsheet. (Subsection 03.02, of Article 06)
- (7) Indicate the location and type of all proposed and/or existing signage on the site plan. (Subsection 06.02.F, of Article 05)
- (8) Are there any roof mounted or pad mounted utility equipment? If so, indicate them on the site plan and building elevations and show any subsequent required screening (e.g. screening with taller parapets or adding louver screening). (Subsection 01.05. C, of Article 05)

M.7 Photometric Plan:

- (1) If any lighting is added:
 - (a) Please provide a photometric plan indicating the light levels of any lighting added to the site including wall packs and indicate the light levels throughout the property. (Subsection 03.03, of Article 07)
 - (b) The allowable maximum light intensity measured at the property line of a non-residential property shall be 0.2 of one foot candle. (Subsection 03.03.C, of Article 07)
 - (c) The maximum outdoor maintained, computed, measured illumination level within any non-residential development shall not exceed 20 FC at any point on the site. (Subsection 03.03.G, of Article 07)
 - (d) No light pole, base, or combination thereof shall exceed 30 feet. (Subsection 03.03.D, of Article 07)
 - (e) Provide lighting cut sheets that indicates the wattage for each exterior lighting fixture. Light sources (e.g. light bulbs) shall be oriented down and toward the center of the site or shielded so as to not be visible from the property line. (Subsection 03.03, of Article 07)

M.8 Building Elevations:

- (1) Please provide a numeric and graphic scale as well as horizontal and vertical measurements of each façade.
- (2) Indicate the surface area of each façade and the square footage of each material used on that façade. (Subsection 04.01, of Article 05)
- (3) Provide all specifications and descriptions of each proposed building materials and please provide a physical material sample board that meets the City's submittal requirements before the September 27, 2022 Architecture Review Board meeting. (Subsection 04.01 of Article 5)
- (4) All structures shall have the option of being constructed with either a pitched (minimum of a 6:12 roof pitch), parapet, or mansard roof system as long as the roof system is enclosed on all sides. Metal roofs with lapped seam construction, bituminous built-up roofs, and/or flat membrane type roofs that are visible from adjacent properties or public right-of-way shall be prohibited. Projecting elements and parapets that are visible from adjacent properties or public right-of-way shall be finished on the interior side using the same materials as the exterior facing wall. In this case, the proposed building has less than a 6:12 roof pitch. This will require an exception. (Subsection 04.01A.1, of Article 05)

(5) The maximum wall length shall not exceed three (3) times the hall height. In this case, the wall length on all proposed facades exceeds this maximum. This will require an exception to the building articulation standards. (Figure 7, Article 05)

I.9 Based on the materials submitted staff has identified the following exceptions for this project:

(1) Parking. According to Article 06, Parking and Loading, of the Unified Development Code (UDC) an Office Building shall be parked at 1 parking spaces for every 300 SF of building space. In this case the required parking spaces would be 14. The applicant has provided 13 spaces.

(2) Roof Pitch. According to Article 05, Development Standards, of the Unified Development Code (UDC), "All structures shall have the option of being constructed with either a pitched (minimum of a 6:12 roof pitch)..." In this case, the proposed roof pitch is 4:12 which is characteristic of the existing building but is still considered an exception to the code and will require compensatory measures.

(3) Building Articulation. According to Article 05, Development Standards, of the Unified Development Code (UDC), all primary and secondary building facades for commercial buildings are required to meet the standards stipulated in Section 04.01C2. This is characteristic of the existing building but is still considered an exception to the code and will require compensatory measures.

M.10 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measure for each exception or variance is required. In this case, staff has identified three (3) exceptions. In order to request an exception, the applicant will need to provide a letter outlining the requested exceptions and the six (6) required compensatory measures.

M.11 Please review and correct all items listed by the Engineering Department.

I.12 Please note the scheduled meetings for this case:

(1) Planning & Zoning Work Session meeting will be held on September 27, 2022.

(2) Planning & Zoning meeting/public hearing meeting will be held on October 11, 2022.

I.13 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:
CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 2001 RIDGE ROAD

Subdivision

Lot

Block

General Location NEC Ridge Rd & YELLOWJACKET RD

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Comm/Resid.

Current Use MASSAGE

Proposed Zoning SAME

Proposed Use SAME

Acreage 0.48

Lots [Current] 1

Lots [Proposed] 1

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner EVERYBODY MASSAGE

Applicant CARROLL ARCHITECTS

Contact Person SUSAN GAMEZ

Contact Person JEFF CARROLL

Address 2001 Ridge Rd

Address 750 E. I-30

#110

City, State & Zip ROCKWALL TX 75087

City, State & Zip ROCKWALL, TX 75087

Phone 972.679.6635

Phone 214.632.1762

E-Mail everybodymassage@ATT.NET

E-Mail JCB@CARROLLARCH.COM

NOTARY VERIFICATION [REQUIRED]

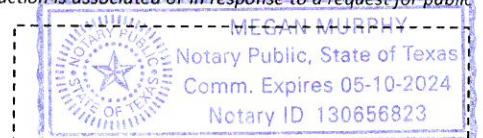
Before me, the undersigned authority, on this day personally appeared Susan Gamez [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the 16 day of September, 20 22. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

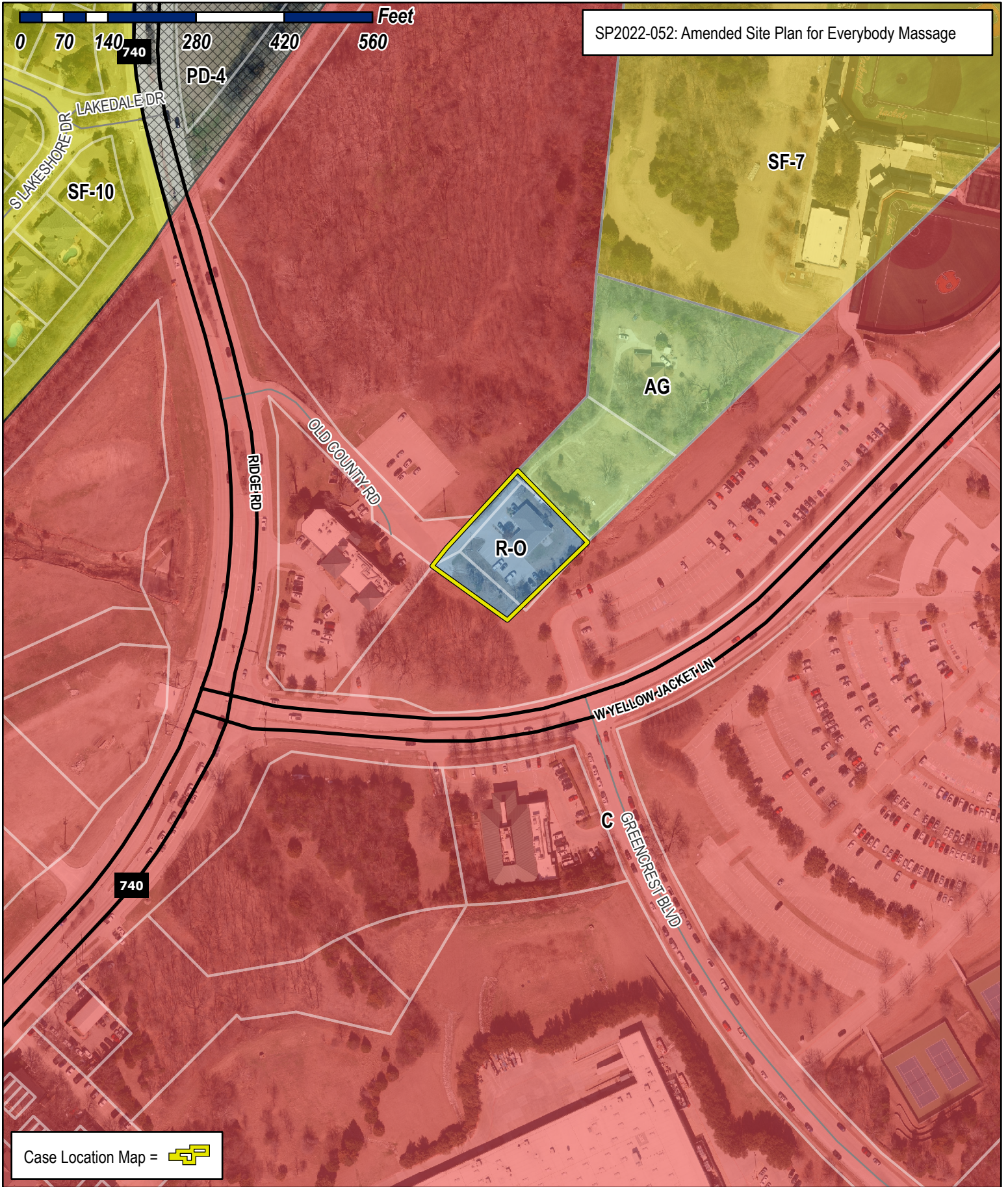
Given under my hand and seal of office on this the 16th day of September, 20 22

Owner's Signature


Notary Public in and for the State of Texas



My Commission Expires 5-10-24



SP2022-052: Amended Site Plan for Everybody Massage

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





750 Interstate 30
Suite 110
Rockwall, TX 75087
t: 972-732-6085
f: 972-732-8058

September 16, 2022

Mr. Ryan Miller
City of Rockwall Director of Planning
City Hall 385 S. Goliad
Rockwall, TX 75087

Re: SP2022-0XX Variance Requested
Everybody Massage Expansion Project
Rockwall, TX. 75087

Mr. Miller,

This letter serves as a summary of the Request for Variance to the UDC within the general zoning district for a Parking Variance on this site.

Parking Variance for (1) parking space.

- A) **Parking Requirement per zoning is 1/ 300 SF.** We are requesting a parking variance for (1) one parking space. The existing residential building was remodeled a couple of years ago and converted into a commercial /residential business. The new expansion would add 7 new relaxing rooms to replace smaller rooms inside the existing space. This expansion will allow for a total of 11 massaging rooms. We are planning to reduce the number of rooms in the existing building by combing smaller rooms together and enlarging the breakroom / laundry rooms.

Building Square Footage,
Existing 2293 SF
Expansion 1,713 SF

Total Building SF – 4,006 SF / 300 = 13.35 parking spaces.
This would typically round up to 14 spaces. We are asking for 13.

Thank you for your consideration and reviewing our request.

Sincerely,

A handwritten signature in black ink that reads "Jeff Carroll". The signature is written in a cursive, flowing style.

Jeffrey Carroll
Carroll Architects, Inc.
President / CEO

2022064 Everybody Massage Rockwall, TX 9-16-22

